

# MY SALON Suite.

MSS # 5043

200 West Coast Highway Suite R-201  
Newport Beach, CA 92663

## Specifications

THESE SPECIFICATIONS CONTAIN IMPORTANT INFORMATION RELATING TO BUILDING CODES, CITY ORDINANCES, MATERIALS, AND METHODS.

### DIVISION 1

#### INSTRUCTIONS TO BIDDERS

- 1.1. THESE DOCUMENTS ARE TO BE BID AS AN ENTIRE PACKAGE. NO CONSIDERATION WILL BE GIVEN TO THE CONTRACTOR/SUBCONTRACTORS FOR ITEMS OMITTED DUE TO IGNORANCE OF PARTIAL DOCUMENTS.
- 2.1. VISIT THE SITE BEFORE SUBMITTING YOUR FINAL BID. NO CONSIDERATION WILL BE GIVEN TO THE CONTRACTOR/SUBCONTRACTORS FOR ITEMS OMITTED DUE TO LACK OF KNOWLEDGE OF EXISTING UNCONCEALED SITE CONDITIONS.
- 3.1. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER THE SCALE OF A DRAWING.
- 4.1. INCLUDE IN YOUR BID THE FOLLOWING ADDITIONAL ITEMS:
  - a. ITEMS TO BE REMOVED IN ORDER TO COMPLET THE PROJECT. REFER TO DIVISION 2
  - b. ITEMS TO BE RELOCATED IN ORDER TO COMPLETE THE PROJECT. REFER TO OTHER DIVISIONS WITHIN THESE SPECIFICATIONS.
- 5.1. IF YOU SHOULD FIND APPARENT CONFLICTS IN, OR OMISSIONS FROM THESE DOCUMENTS OR BE IN DOUBT AS TO THEIR MEANING, CONTACT ONE! ARCHITECTURE IN WRITING PRIOR TO SUBMITTING A FINAL BID.
- 6.1. THE CONTRACTOR SHALL GIVE ONE! ARCHITECTURE 48 HOURS TO RESEARCH AND REPLY TO ALL QUESTIONS. ONLY WRITTEN RESPONSES FROM ONE! ARCHITECTURE SHALL BE CONSIDERED VALID CHANGES TO THE SCOPE OF WORK.

### CONTRACTORS RESPONSIBILITIES

- 1.1. THE CONTRACTOR SHALL FILE FOR ALL REQUIRED INSPECTIONS WITH ALL APPLICABLE AGENCIES.

### OWNERS OBLIGATIONS

- 1.1. THE OWNER WILL MAKE THE SITE ACCESSIBLE TO THE CONTRACTOR DURING THE PERIOD OF CONSTRUCTION, AND WILL NOT HOLD THE CONTRACTOR RESPONSIBLE FOR TIME DELAYS OR COST INCREASES CAUSED BY OWNER OR TENANT ACTIONS.

### DIVISION 2

#### DEMOLITION

- 1.1. REMOVE ALL EXISTING FLOORING, WALLS, DOORS, CEILING, CASEWORK, ETC. AS REQUIRED TO ALLOW FOR ALL NEW WORK.
- 2.1. REMOVE OR RELOCATE ALL COMPONENTS OF THE MECHANICAL, PLUMBING, FIRE SPRINKLER AND ELECTRICAL SYSTEMS AS REQUIRED TO ALLOW FOR ALL NEW WORK. RELOCATION OF ITEMS TO REMAIN SHALL COMPLY WITH ALL CODES AND ORDINANCES.
- 3.1. WHERE DEMOLITION HAS OCCURRED, REPAIR OR REPLACE ANY REMAINING FLOORS, WALLS OR CEILING TO LIKE NEW CONDITION. MATCH ADJACENT NEW FINISHES.

### DIVISION 17

#### ACCESSIBILITY REQUIREMENTS

- 1.1. ALL WORK SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT ARCHITECTURAL GUIDELINES (ADAG) AND ANSI STANDARDS A-117.1, LATEST EDITION.
- 2.1. ALL THRESHOLDS SHALL BE A MAXIMUM 1/2" HEIGHT AND BEVELLED.
- 3.1. ALL DOOR HANDLES SHALL BE LEVER TYPE. CENTER OF LEVER TO BE INSTALLED 36" ABOVE FINISH FLOOR.
- 4.1. LAVATORY FAUCETS SHALL BE LEVER TYPE.
- 5.1. HOT WATER AND DRAINPPES UNDER LAVATORIES SHALL BE INSULATED.
- 6.1. TOILET PAPER DISPENSER SHALL BE CONTINUOUS FLOW TYPE.
- 7.1. FLUSH CONTROL VALVE AT WATER CLOSET SHALL BE ON THE WIDE SIDE OF THE CLOSET AND MOUNTED AT NO GREATER THAN 42" ABOVE THE FINISH FLOOR.

## Location Map



FRONT DOOR LOCATION

## Site Specific Notes:

1. G.C. SHALL BE RESPONSIBLE FOR COORDINATING SECURITY & ACCESS CONTROL SYSTEM WITH OWNERS SUB-CONTRACTOR TO ENSURE THAT CERTIFICATE OF OPENING IS NOT DELAYED.
2. ALL SECURITY SYSTEM CAMERAS SHALL BE DOME CAMERAS.
3. HVAC CONTRACTOR SHALL CLEAN COILS AND CHANGE FILTERS PRIOR TO TURN OVER.
4. THE GC MUST PROVIDE FRANCHISEE ONE CARTON OF THE FOLLOWING MATERIALS AFTER STORE CONSTRUCTION: CARPET TILE, LVT, WALL BASE BOARD, CEILING TILE, WALL COVERING, AND ALL CERAMIC TILE.
5. BY G.C. ACCESS CONTROL SYSTEM SHALL PROVIDE AFTER HOURS OPERATION OF HVAC SYSTEM. ACCESS CONTROL CONTRACTOR SHALL INSTALL WIRES TO THE THERMOSTAT LOCATIONS. HVAC CONTRACTOR SHALL CONNECT THE WIRES TO THE THERMOSTATS FOR AFTER HOURS PROGRAMMING AND TRAIN TENANT ON OPERATION OF SYSTEM.
6. EXISTING FIRE ALARM AND FIRE SPRINKLER SYSTEMS SHALL BE MODIFIED BY THE GC. GC SHALL SUBMIT SIGNED AND SEALED ENGINEERED DRAWINGS TO THE GOVERNING AUTHORITY FOR REVIEW, APPROVAL AND PERMITTING. ALL COSTS SHALL BE INCLUDED IN THE GC BID.
7. THE SECURITY SYSTEM SHALL BE PROVIDED BY OTHERS UNDER A SEPARATE PERMIT.
8. THE MAGNETIC LOCKING DEVICE FOR THE HURCULITE DOOR SHALL BE PROVIDED AS PART OF THE DOOR PACKAGE AND INSTALLED BY THE GENERAL CONTRACTOR. THE MAGNETIC LOCKING DEVICE AT THE FRONT ENTRY DOOR SHALL BE PROVIDED AND INSTALLED BY THE ACCESS CONTROL CONTRACTOR.
9. AIRPHONE SYSTEM MUST HAVE MIN. 1/2" STUB UP WITH 2 GANG BACK BOX BY THE ELECTRICIAN. COORDINATE WITH THE ACCESS CONTROL CONTRACTOR.
10. THE FIRE ALARM CONTRACTOR SHALL INSTALL WIRES TO THE ACCESS CONTROL PANEL. THE ACCESS CONTROL CONTRACTOR SHALL MAKE THE FINAL CONNECTIONS.
11. WHEN AVAILABLE ALL TELECOMMUNICATIONS AND SECURITY ACCESS CONTROL SYSTEMS SHALL BE PLACED IN A SECURE CLOSET.
12. THE GC IS RESPONSIBLE FOR MAKING THE CONNECTIONS FROM THE ACCESS CONTROL SYSTEM TO THE FIRE ALARM PANEL AND HVAC SYSTEM AND IF NECESSARY THE FIRE SPRINKLER SYSTEM. THE GC SHALL COORDINATE ALL NECESSARY TRADES TO ASSURE THE RELEASE OF THE MAGNETIC LOCKING SYSTEM UPON ACTIVATION OF THE FIRE ALARM SYSTEM OR FIRE SPRINKLER SYSTEM.
13. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL CLEANING PRIOR TO TURNING THE SPACE OVER TO THE TENANT. CLEANING SHALL INCLUDE BUT NOT BE LIMITED TO: REMOVAL OF GREASE, MASTIC, ADHESIVES, DUST, DIRT, STAINS, FINGERPRINTS, LABELS, AND OTHER FOREIGN MATERIALS FROM EXPOSED INTERIOR AND EXTERIOR SURFACES. PRESSURE WASH EXTERIOR PAVED SURFACES.

## How to read these plans.

THESE PLANS ARE DRAWN USING A LEGEND FORMAT. THE LEGENDS ON EACH SHEET EXPLAIN THE MANY SYMBOLS USED THROUGHOUT THE PLANS.

A SYMBOL SHOWN IN A LEGEND DOES NOT NECESSARILY MEAN THAT THE ITEM OCCURS WITHIN THE SCOPE OF THIS PROJECT. REVIEW THE PLANS AND SPECIFICATIONS CAREFULLY TO DETERMINE THE COMPLETE SCOPE OF WORK.

## About this project...

THIS PROJECT IS A TENANT IMPROVEMENT FOR A NEW MY SALON SUITE IN AN EXISTING BUILDING. THIS PROJECT IS ON THE SECOND FLOOR OF A RECENTLY BUILT BUILDING AND IT IS TAKING PART OF THE SECOND FLOOR SPACE. THE ADJACENT TENANT SPACE IS VACANT. A JEWELRY STORE IS DIRECTLY BELOW AND THE SUITE NEXT TO THAT IS VACANT. MY SALON SUITE IS A COLLECTION OF INDEPENDENT PROFESSIONALS OPERATING THEIR OWN PRIVATE SALONS. ALL UNDER ONE ROOF. MY SALON SUITE IS A PROPERTY MANAGEMENT COMPANY, LEASING FULLY EQUIPPED, SEPARATE LOOKABLE SUITES TO INDIVIDUAL SALON PROFESSIONALS.

## Project Scope of Work

THIS PROJECT IS A TENANT IMPROVEMENT PROJECT OF AN EXISTING SPACE. PROPOSED WORK INCLUDES:

**DEMOLITION:** - WALL, CEILING, FIXTURES AS REQUIRED; IMPROVEMENTS AS NECESSARY. SEE DIVISION 2 OF SPECIFICATIONS.

**EXTERIOR:** - STOREFRONT WINDOWS TO MATCH EXISTING. ALL EXTERIOR SIGNAGE UNDER SEPARATE PERMIT.

**INTERIOR:** - NON-LOAD BEARING INTERIOR PARTITIONS  
- ROOM FINISHES TO INCLUDE PAINT, CARPET TILE, CERAMIC TILE, AND ACOUSTICAL CEILING.

**MECHANICAL:** - ONE EXISTING ROOF TOP UNIT WILL SERVE VACANT TENANT SPACE CREATED. NEW ROOF TOP UNITS WILL BE INSTALLED FOR MSS SPACE  
- DISTRIBUTION OF AIR INCLUDING DUCTWORK AND REGISTERS.

**PLUMBING:** - RESTROOMS FIXTURES, MOP SINK, AND DRINKING FOUNTAIN.  
- SALON FIXTURES

**ELECTRICAL:** - OUTLETS FOR GENERAL USE  
- LIGHT FIXTURES  
- ELECTRICAL PANELS

**FIRE SPRINKLER:** - BUILDING CONTAINS AN EXISTING SPRINKLER SYSTEM. MODIFICATIONS ARE NOT INCLUDED UNDER THIS PERMIT. SEE GENERAL NOTES THIS SHEET.

**FIRE ALARM:** - BUILDING CONTAINS AN EXISTING FIRE ALARM SYSTEM. MODIFICATIONS ARE NOT INCLUDED UNDER THIS PERMIT. SEE GENERAL NOTES THIS SHEET.

(SEE PLANS FOR FULL DESCRIPTION OF WORK)

## General Notes

- A. SITE IMPROVEMENTS, LANDSCAPING, PARKING, SHELL STRUCTURE, WATER AND SEWER MAIN LINES, AND ELECTRICAL DISTRIBUTION ARE EXISTING SYSTEMS AND ARE TO BE KEPT ONLY TO THE EXTENT SHOWN IN THESE DOCUMENTS.
- B. ALL PRODUCTS LISTED BY ICC, UL OR EQUIVALENT NUMBERS SHALL BE INSTALLED PER THE REPORT AND MANUFACTURER'S WRITTEN INSTRUCTION. PRODUCT SUBSTITUTION FOR PRODUCTS LISTED SHALL ALSO HAVE AN APPROVED EVALUATION REPORT OR BE APPROVED AND LISTED BY OTHER NATIONALLY RECOGNIZED TESTING AGENCIES.
- C. FIRE SPRINKLER APPROVALS ARE NOT INCLUDED UNDER THIS PERMIT. BEFORE COMMENCING ANY WORK ON THE SPRINKLER SYSTEM, PLANS MUST BE SUBMITTED TO AND APPROVED BY THE BUILDING DEPARTMENT. THE SYSTEM MUST BE INSPECTED AND APPROVED BY THE BUILDING DEPARTMENT PRIOR TO A CERTIFICATE OF OCCUPANCY.
- D. FIRE ALARM SYSTEM APPROVALS ARE NOT INCLUDED UNDER THIS PERMIT. BEFORE COMMENCING ANY WORK ON THE ALARM SYSTEM, PLANS AND O&T SHEETS MUST BE SUBMITTED TO AND APPROVED BY THE BUILDING DEPARTMENT. THE SYSTEM MUST BE INSPECTED AND APPROVED BY THE BUILDING DEPARTMENT PRIOR TO A CERTIFICATE OF OCCUPANCY.

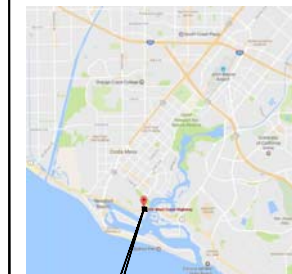
## Parking Calculations

FOR THIS PROJECT:  
EXISTING PARKING TO REMAIN, NO CHANGE WITH THIS PROJECT.

## Status of Documents

THESE PLANS ARE ISSUED FOR BIDDING AND PERMITTING. FINAL PLANS FOR CONSTRUCTION WILL BE ISSUED AFTER APPROVAL BY ALL GOVERNING AGENCIES. AGENCY ITEMS AND ADDENDA ITEM, IF ANY, WILL BE ADDED TO FINAL PLANS AND WILL BE PROPERLY NOTED AS SUCH.

## Vicinity Map



THIS PROJECT

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A-1.0 COVER SHEET	P-2.0 PLUMBING SANITARY SEWER PLAN
A-1.0 DEMOLITION PLAN	P-2.1 PLUMBING WATER & GAS PLAN
A-1.2 GENERAL NOTES	P-3.0 PLUMBING DIAGRAMS
A-1.3 SPECIFICATIONS	P-3.1 PLUMBING DIAGRAMS
A-1.4 SPECIFICATIONS	P-3.2 PLUMBING DIAGRAMS
A-1.5 RESPONSIBILITY MATRIX	P-4.0 PLUMBING SCHEDULES
A-1.6 PARKING PLAN	P-4.1 PLUMBING SPECIFICATIONS
A-2.0 FLOOR PLAN	P-4.2 PLUMBING SPECIFICATIONS
A-2.1 DIMENSIONED FLOOR PLAN	P-4.3 PLUMBING SPECIFICATIONS
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A-3.0 CEILING PLAN	
A-4.0 FINISH SCHEDULE	

## Project Scope of Work

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A-5.0 RESTROOM PLAN & DETAILS	A-6.1 RESTROOM ELEVATIONS
A-6.1 RESTROOM ELEVATIONS	A-6.2 INTERIOR ELEVATIONS
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D-2 DETAILS - ARCHITECTURAL	D-3 DETAILS - MECHANICAL AND PLUMBING
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T-1 TITLE 2/4	T-2 TITLE 2/4
T-2 TITLE 2/4	T-3 TITLE 2/4
T-3 TITLE 2/4	T-4 TITLE 2/4
M-1.0 MECHANICAL PLAN	M-2.0 MECHANICAL SCHEDULES AND DETAILS
M-2.0 MECHANICAL SCHEDULES AND DETAILS	M-2.1 MECHANICAL SCHEDULES
M-2.1 MECHANICAL SCHEDULES	M-3.0 MECHANICAL SPECS
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E-5.0 SPECIAL SYSTEMS PLAN	E-6.0 ONE LINE DIAGRAM
E-6.0 ONE LINE DIAGRAM	E-6.1 ELECTRICAL SCHEDULE
E-7.0 ELECTRICAL DETAILS	E-8.0 SPECIFICATIONS

## City of Newport Beach Construction Codes

THIS PROJECT SHALL ADHERE TO THE FOLLOWING CODES:

- 2016 CALIFORNIA BUILDING CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA PLUMBING CODE
- 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2016 CALIFORNIA ENERGY CODE
- 2016 CALIFORNIA FIRE CODE
- 2016 ADA STANDARDS FOR ACCESSIBILITY DESIGN

## Project Information

ZONING: C-2  
CONSTRUCTION TYPE: II-B  
SUITE AREA: 4500 sf  
SPRINKLER, 2nd FLOOR

OCCUPANCY TYPE: B  
OCCUPANT LOAD:  
A-A BUSINESS AREAS: 4500 / 100 = 45 USE 45  
45 USE 45

EXISTS REQUIRED: 1  
EXISTS PROVIDED: 2

## Plumbing Fixture Calculations

BUSINESS  
45 OCCUPANTS

**WATER CLOSETS - MALE**  
REQ'D: (1 x 150 & 2 x 1100) = 1  
PROVIDED: 1

**WATER CLOSETS - FEMALE**  
REQ'D: (1 x 115 & 2 x 16-30) = 2  
PROVIDED: 2

**LAVATORIES - MALE**  
REQ'D: 11, 175 = 1  
PROVIDED: 1

**LAVATORIES - FEMALE**  
REQ'D: 11, 150 = 1  
PROVIDED: 2

**DRINKING FOUNTAINS**  
REQ'D: (1 x 1150) = 1  
PROVIDED: 1

**OTHER**  
REQ'D: 1 SERVICE SINK  
PROVIDED: 1 SERVICE SINK

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## MY SALON Suite.

NEWPORT BEACH, CA

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### Revisions


## MY SALON Suite.

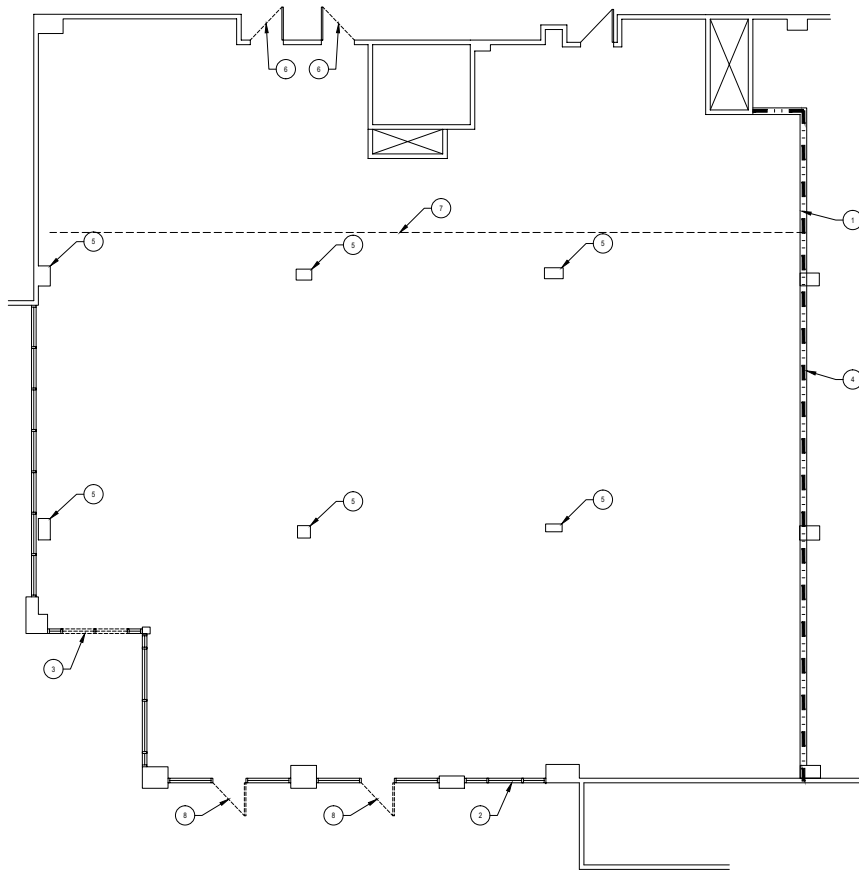
MSS #5043  
200 WEST COAST HWY  
SUITE R201  
NEWPORT BEACH, CA  
92663

04.14.17

CA-369

A-1.0

Cover Sheet



**Demolition Plan**  
3/16" = 1'-0"

**Wall Legend**

	EXISTING WALL TO REMAIN	Existing Walls
	EXISTING WALL TO BE REMOVED	

**Doors**

SEE DETAIL A5, SHEET D-1 FOR REQUIRED DOOR CLEARANCES.

	EXISTING DOOR OR PAIR OF DOORS TO REMAIN
	EXISTING DOOR OR PAIR OF DOORS TO BE REMOVED
	EXISTING DOOR OR PAIR OF DOORS TO BE RELOCATED (RELOCATE TO LOCATION OF CORRESPONDING NEW DOOR)
	POCKET DOOR

**Windows**

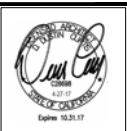
	EXISTING STOREFRONT WINDOWS TO REMAIN
	EXISTING STOREFRONT WINDOWS TO BE REMOVED

**Demolition Keynotes**

1. LEASE LINE.
2. ALL EXISTING STOREFRONT WINDOWS REMAIN, TYPICAL UNO.
3. MODIFY STOREFRONT AT THIS LOCATION ONLY FOR ADDITION OF NEW DOUBLE ENTRY DOORS. SEDILITES AND TRANSOM TO REMAIN.
4. EXISTING DEMISING WALL TO REMAIN
5. EXISTING STRUCTURAL COLUMN TO REMAIN, TYP. PROTECT COLUMN DURING CONSTRUCTION.
6. EXISTING DOORS TO BE LOCKED IN PLACE - HARDWARE TO BE REMOVED. PATCH DOORS AS NEEDED AND LEAVE IN LIKE NEW CONDITION. SEE FLOOR PLANS
7. EXISTING PIPE TO BE MOVED AS CLOSE TO THE CEILING AS POSSIBLE.
8. EXISTING ENTRY DOORS TO BE REMOVED. PREPARE OPENING TO RECEIVE NEW GLASS AND BOTTOM FRAME TO MATCH EXISTING

**General Notes**

- A. REMOVE ALL EXISTING INTERIOR WALLS, DOORS, FRAMES, FIXTURES, PLUMBING FIXTURES, ACCESSORIES, MILLWORK AND ANY OBSOLETE EQUIPMENT, CONDUITS, PIPING, ETC. THROUGHOUT PROPOSED NEW DENSED TENANT SPACE. GO TO VERIFY THAT OBSOLETE POWER AND DATA HAVE BEEN REMOVED AND TERMINATED AT SOURCE AND PLUMBING SYSTEM ARE PROPERLY TERMINATED BELOW THE SLAB. SEE MEP DRAWINGS FOR MORE INFORMATION.
- B. ENTIRE LAY IN CEILING SYSTEM, DRYWALL FURR DOWNS, LIGHT FIXTURES, MECHANICAL GRILLS, TO BE REMOVED IN AREA OF TENANT BUILDOUT. SEE A-20 FOR EXTENT OF TENANT BUILDOUT. LEAVE EXISTING CEILING IN AREA TO REMAIN AS NOTED.
- C. REMOVE EXISTING FLOORING IN ALL AREAS, UNO. PATCH, REPAIR, LEVEL AND PREP CONCRETE TO RECEIVE NEW FINISHES.
- D. SAW CUT EXISTING CONCRETE SLAB AND TRENCH FOR NEW UNDER SLAB SANITARY PLUMBING WORK. SEE FLOOR PLAN AND PLUMBING DRAWINGS. GO TO THOROUGHLY CLEAN EXISTING SLAB AS REQUIRED FOR NEW SCHEDULED FLOORING AFTER ALL SLAB PATCHING FOR NEW PLUMBING IS COMPLETE. GRIND DOWN SMOOTH, ROUGH AREAS OR HIGH SPOTS. SEE DETAIL A52 FOR NEW SLAB INFLL.
- E. PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT OWNERS AND TENANT'S PERSONNEL AND GENERAL PUBLIC FROM INJURY DUE TO DEMOLITION WORK. ENSURE MINIMAL INTERFERENCE WITH ROADS, STREETS, WALL AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
- F. PROVIDE DUST PROOF PARTITIONS AND CLOSURES AS REQUIRED TO PREVENT SPREAD OF DUST OR FUMES TO OCCUPIED PORTIONS OF THE BUILDING. MAINTAIN CONTINUITY OF SERVICES TO OCCUPIED AREAS OF THE BUILDING. PROTECT ANY ITEMS INDICATED TO REMAIN FROM BEING SOILED OR DAMAGED.
- G. REMOVE ALL AND REPLACE ALL GYP BOARD AT DEMISING WALLS, EXTERIOR WALLS, AND ANY REMAINING WALLS. CHECK FOR MOLD AND REPORT FINDINGS TO ARCHITECT AND ISS. IF REMOVING GYP BOARD FROM A RATED WALL, REPLACE GYP BOARD SO RATING REMAINS THE SAME.



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Revisions


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**A-1.1**  
Demolition Plan

**General Notes**

- GENERAL CONDITIONS
THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR A PROFESSIONALLY COMPLETE TENANT IMPROVEMENT WITHIN THE ADDRESS LISTED ON THESE PLANS
2. ALL INFORMATION CONTAINED IN THESE CONSTRUCTION DRAWINGS ARE THE SOLE PROPERTY OF MY SALON SITES... CORRECT TO BE USED FOR THE EXCLUSIVE PURPOSE OF CONSTRUCTING MY SALON SITES FACILITIES...
3. THE ARCHITECT, ENGINEER, FRANCHISEE, OR MY SALON SITES ASSUME NO RESPONSIBILITY OR LIABILITY FOR THE USE OF THESE DOCUMENTS FOR ANY PURPOSE OTHER THAN SPECIFICALLY AUTHORIZED BY THE ARCHITECT AND SIGNED AND SEALED FOR THE SPECIFIC LOCATION IN THE STATE SHOWN ON THE DRAWINGS AND SEAL.

- 4. ALL STRUCTURE WORK, INCLUDING BUT NOT LIMITED TO, ARCH, PLUMBING, MECHANICAL AND ELECTRICAL, WORKING CONDITIONS, MATERIALS AND METHODS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES...
5. NOTWITHSTANDING NOTED, THE SUBJECT OF AN IMPERATIVE SENTENCES IN THE SPECIFICATIONS AND THE DRAWINGS IS THE CONTRACTOR. FOR EXAMPLE, 'PROVIDE AND INSTALL VEHICULAR CONTRACTOR SHALL PROVIDE AND INSTALL...'
6. PRIOR TO SUBMITTING BIDS OF ANY TYPE, THE CONTRACTOR SHALL VISIT THE SITE TO BECOME THOROUGHLY FAMILIAR, NOT ONLY WITH THE PROPOSED SCOPE OF WORK, BUT ALSO WITH THE SPECIFIC REQUIREMENTS AS TO PROCEDURES THE FRANCHISEE OR THE LANDLORD EXPECTS THE CONTRACTOR(S) TO FOLLOW DURING CONSTRUCTION...
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS, ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT, ENGINEER, FRANCHISEE AND MY SALON SITES PRIOR TO BEING RESOLVED BEFORE PROCEEDING WITH THE WORK.

- 8. CAREFULLY REVIEW LOCATION AND CONDITIONS OF ALL UTILITIES TO BE FURNISHED FOR THE SIGNAL AND VERIFY WITH THE LANDLORD/UTILITY COMPANIES AS SHOWN IN THE DRAWINGS.
9. ANY DETAILS OR NOTES REQUIRING FIELD VERIFICATION BY THE CONTRACTOR ARE TO BE DONE DURING THE CONSTRUCTION PROCESS...
10. SPECIAL ATTENTION SHALL BE GIVEN TO EXISTING AREAS SURROUNDING THE EXTERIOR OF THE PROJECT SPACE, ALL CONSTRUCTION AND INSTALLED EQUIPMENT, UTILITIES, AND LANDSCAPE AREAS...
11. GENERAL CONTRACTOR SHALL VERIFY WITH LANDLORD FOR ALLOWABLE TIMES OF CONSTRUCTION.
12. CONTRACTOR SHALL APPLY, OBTAIN, AND PAY FOR ALL PERMITS REQUIRED FOR THE WORK. SUBMIT COPIES OF ALL PERMITS TO OWNER.
13. CONTRACTOR TO INSTALL SAFETY BARBERS DURING CONSTRUCTION AS NECESSARY TO PROTECT THE PUBLIC FROM HAZARD AND ACCESS TO THE SITE. REVIEW SPECIFIC REQUIREMENTS WITH THE LANDLORD'S TENANT COORDINATOR PRIOR TO BEGINNING CONSTRUCTION.

- 14. TEMPORARY SERVICES REQUIRED DURING CONSTRUCTION SHALL BE AT THE SOLE EXPENSE OF THE CONTRACTOR, UNLESS OTHERWISE AGREED UPON.
15. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO SECURE AND PROTECT FROM DAMAGE, ALL ITEMS OF THE PREMISES, INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MATERIALS, LIGHT FIXTURES, FOOD SERVICE EQUIPMENT, EQUIPMENT, AND THE FURNITURE PACKAGE, AFTER RECEIPT ON JOB SITE. ANY COST, STOLEN OR ITEMS DAMAGED LATER BY SUBCONTRACTORS OR OTHERS IN THE BUILDING, SHALL BE REPLACED OR REPAIRED AT THE GENERAL CONTRACTOR'S SOLE EXPENSE.
16. THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE BY THE GENERAL CONTRACTOR AND SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED.
17. WORK LISTED, SHOWN, OR IMPLIED ON THE CONSTRUCTION DRAWINGS SHALL BE SUPERSEDED BY THE GENERAL CONTRACTOR EXCEPT WHERE OTHERWISE NOTED. THE GENERAL CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT SCHEDULES ARE MET AND THAT THE WORK IS DONE IN CONFORMANCE TO MANUFACTURER'S REQUIREMENTS.

- 18. NO MATERIAL SUBSTITUTIONS WILL BE PERMITTED UNLESS AUTHORIZATION HAS BEEN GRANTED BY MY SALON SITES DESIGN AND CONSTRUCTION DEPARTMENT AND THE FRANCHISEE.
19. THE SUBCONTRACTORS SHALL REMOVE RUBBISH AND WASTE MATERIALS ON A REGULAR BASIS AND SHALL EXERCISE STRICT CONTROL, OVER JOB CLEANING TO PREVENT DIRT, DEBRIS OR DUST FROM AFFECTING THE FINISHED INTERIOR OR EXTERIOR OF THE JOB SITE.
20. ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR, FRANCHISEE MAY WITHHOLD FINAL PAYMENT UNTIL GENERAL CONTRACTOR SUPPLIES FRANCHISEE WITH A WARRANTY LETTER AND SUBCONTRACTORS LENIENCY LETTERS.
21. GENERAL CONTRACTOR SHALL HIRE A PROFESSIONAL CLEANING COMPANY FOR FINAL CLEAN UP INCLUDING STRIPPING AND WAXING OF THE FLOORS BEFORE TURNING COMPLETED STORE OVER TO FRANCHISEE. CLEAN AND FINISH AS DIRECTED BY MANUFACTURER.
22. GENERAL CONTRACTOR AND HIS JOB SUPERVISOR SHALL TEST ALL EQUIPMENT FOR PROPER OPERATION IN THE PRESENCE OF THE FRANCHISEE BEFORE TURNING COMPLETED STORE OVER TO FRANCHISEE.

- 23. GENERAL CONTRACTOR SHALL PROVIDE THE FRANCHISEE WITH TWO (2) COPIES OF A MAINTENANCE MANUAL UPON COMPLETION OF THE STORE. THE FRANCHISEE MAY CHOOSE TO WITHHOLD FINAL PAYMENT SHOULD THE GENERAL CONTRACTOR FAIL TO PROVIDE A MAINTENANCE MANUAL.
24. FIVE (5) DAYS BEFORE CONSTRUCTION COMMENCEMENT, THE GENERAL CONTRACTOR SHALL PROVIDE THE FRANCHISEE AND MY SALON SITES WITH A DETAILED AND COMPLETE CONSTRUCTION SCHEDULE. THE SCHEDULE SHOWING ALL TRADES WITH STARTING AND COMPLETION DATES, A COMPLETE LIST OF ALL SUBCONTRACTORS MUST ALSO BE INCLUDED WITH THE SCHEDULE. THE GENERAL CONTRACTOR IS TO NOTIFY ALL PARTIES IN RECORD OF PROJECT SCHEDULE IF ANY CHANGES OCCUR WHICH AFFECT THE COMPLETION DATE. FAILURE TO COMPLETE THE PROJECT AS SCHEDULED, MAY RESULT IN PENALTIES INCURRED BY THE GENERAL CONTRACTOR REGARDING FINAL PAYMENT.
25. UPON ENTERING THE SITE AND COMMENCING WORK, THE CONTRACTOR REPRESENTS THAT HE HAS VISITED THE SITE, FAMILIARIZED HIMSELF WITH THE EXISTING CONDITIONS, LAWS, CODES AND GOVERNMENTAL AGENCY REGULATIONS UNDER WHICH THE WORK IS TO BE PERFORMED, AND CORRELATED HIS OBSERVATIONS WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS AND ACCEPTS THE SITE 'AS IS'.
26. THE CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ADEQUATE PROTECTION OF ALL

**General Notes**

- 1. G.C. SHALL FIELD VERIFY AND REPORT ON THE CONDITION OF EXISTING SMALL COMPONENTS, EXTERIOR NOTED, FINISH, STRENGTH, GLAZING DOORS ETC. WHERE EXISTING CONDITIONS WILL NOT MEET OR EXCEED NEW LEVEL OF FINISH. G.C. SHALL PROVIDE A PERMANENT, FREE TO REPAIR, REFURNISH OR REPLACE EXISTING EXTERIOR COMPONENTS.
2. G.C. SHALL FIELD VERIFY AND INSPECT INTERIOR SMALL COMPONENTS. ALL SHELL FINISH SHALL BE INSTALLED WITH A MINIMUM OF FINISH BATT INSULATION AND BE COVERED WITH 1/8" TYPE 'X' GYPSUM BOARD FINISHED TO A MINIMUM OF LEVEL 4 SMOOTHNESS. LEVEL 5 SMOOTHNESS WHERE WALLOWING IS INSTALLED.
3. ALL FLOORS SHALL BE LEVELLED, CLEANED AND PREPARED TO RECEIVE NEW FINISHES.
4. ALL DIMENSIONS SHOWN ARE TO FACE OF FINISHED DRYWALL.
5. SEE FRAMING SHEETS FOR ADDITIONAL INFORMATION REGARDING FRAMING AND BLOODING REQUIREMENTS.
6. G.C. SHALL BE RESPONSIBLE FOR PLUMBING TRENCHES AND REPAIR OF FLOOR DOWNS, AND FOUR BACK EQUAL TO EXISTING BATH FINISH SMOOTH, READY TO RECEIVE NEW FLOORING.

**Temporary Services**

- 1. TELEPHONE THE TENANT WILL NOTIFY THE LOCAL TELEPHONE COMPANY TO INSTALL JOB SITE PHONE SERVICE AND ALL WIRING DURING DEMOLITION AND NOTIFY GENERAL CONTRACTOR OF THE JOB SITE PHONE NUMBER.
2. WATER, WATER SERVICES REQUIRED IN THE PERFORMANCE OF THE CONTRACT WILL BE SET UP IN THE NAME OF THE BUDDLE PRIOR TO THE START OF THE JOB. WATER USED FOR HUMAN CONSUMPTION SHALL CONFORM TO REQUIREMENTS OF THE STATE AND LOCAL AUTHORITIES FOR POTABLE WATER.
3. ELECTRICITY, ELECTRICAL SERVICES REQUIRED IN THE PERFORMANCE OF THE CONTRACT WILL BE SET UP IN THE NAME OF THE BUDDLE PRIOR TO THE START OF THE JOB. THE CONTRACTOR SHALL FURNISH, INSTALL, AND MAINTAIN ALL TEMPORARY OVERHEAD CONSTRUCTION, METERS, DROPS, AND OTHER WIRING AND FITTINGS FOR BOTH LIGHT AND POWER AT LOCATIONS REQUIRED FOR WORK, BEFORE FINAL ACCEPTANCE. TEMPORARY ELECTRICAL SERVICE FACILITIES INSTALLED BY THE CONTRACTOR SHALL BE LOCATIONS, AND THE SERVICE CONNECTIONS SERVED IN AN ACCEPTABLE MANNER.
4. TEMPORARY HEAT: WHEN REQUIRED FOR PROPER INSTALLATION OR PROTECTION OF ANY PORTION OF THE WORK, THE CONTRACTOR SHALL FURNISH AND INSTALL TEMPORARY HEATING UNITS AS APPROVED BY THE LANDLORD OR LOCAL AUTHORITY.
5. COST OF LANDLORD PROVIDED UTILITY SERVICES IF THE TENANT'S GENERAL CONTRACTOR ELECTS TO USE LANDLORD PROVIDED TEMPORARY UTILITY SERVICES. THE CONTRACTOR SHALL MAKE PROVISIONS OR COORDINATE WITH LANDLORD'S GENERAL CONTRACTOR TO PAY THE COST OF SAID TEMPORARY CONSTRUCTION AND UTILITY SERVICES.

**Interior Material Fire Ratings**

Table with columns: MATERIAL, FLAME SPREAD, SMOKE DENSITY, CLASSIFICATION. Includes rows for VINYL TILE, LAY-IN CEILING, FRP, VINYL BASE, CERAMIC/PORCELAIN TILE, WALL COVERINGS, CARPET.

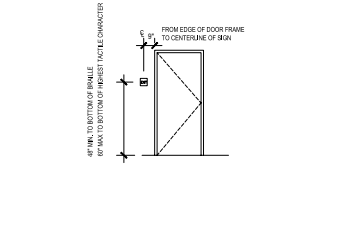
WALL, FLOOR AND CEILING SHALL NOT EXCEED FLAME SPREAD CLASSIFICATION IN THESE SCHEDULES. ALL APPLICABLE FINISHES SHALL MEET OR EXCEED THE FLAME SPREAD CRITERIA. CLASS A: FLAME SPREAD OF 25, SMOKE DENSITY OF 10 OR LESS. CLASS B: FLAME SPREAD OF 75, SMOKE DENSITY OF 155 OR LESS. CLASS C: FLAME SPREAD OF 200, SMOKE DENSITY OF 450 OR LESS.

Table with columns: ROOM OR OCCUPANCY, PEOPLE DENSITY AND EXIT PROVISIONS, EXIT ACCESS CORRIDORS AND OTHER EXITWAYS, ROOMS AND ENCLOSED SPACES.

1. EACH OF THESE PRINTER AND A MINIMUM OF TWO COPIES OF THIS SHALL BE APPLIED TO LEVEL FOUR FINISHED DRYWALL SURFACES IN A PROFESSIONAL MANNER SUCH AS TO PROVIDE A DURABLE PERSISTENT SURFACE.

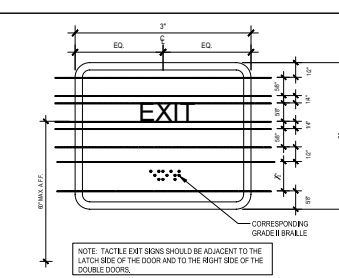
**General Roofing Notes**

- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ALL NEW OR DEMOLISHED ROOF PENETRATIONS. NOT ALL REQUIRED PENETRATIONS MAY BE NOTED OR IDENTIFIED ON THE DRAWINGS. G.C. SHALL BE RESPONSIBLE FOR QUANTIFYING ALL REQUIRED NEW AND DEMOLISHED ROOF PENETRATIONS, PATCHING AND REPAIRS IN THE FIELD.
2. GC IS RESPONSIBLE FOR COORDINATING REQUIRED SCOPE OF WORK WITH ALL TRADES AT ROOF LEVEL FOR A COMPLETE WEATHER TIGHT ROOF SYSTEM OR IDENTIFIED ON THE DRAWINGS.
3. GC IS TO COORDINATE AND VERIFY WITH LANDLORD ANY REQUIRED MANDATORY ROOFING CONTRACTOR OR SPECIFIC ROOFING SYSTEMS FOR ASSURANCE OF ROOF WARRANTIES IN PLACE.
4. EXISTING ROOFING IS A MEMBRANE ROOFING SYSTEM - VERIFY TYPE IN FIELD.
5. PROTECT EXISTING ROOF MEMBRANE FROM DAMAGE DURING DEMOLITION AND NEW CONSTRUCTION OPERATIONS AS REQUIRED. IF DAMAGE OCCURS, REPORT TO FIELD REPRESENTATIVE. MAKE ALL NECESSARY REPAIRS TO PROVIDE A WEATHER TIGHT CONDITION IN SUCH A MANNER AS TO NOT VOID ANY WARRANTIES IN EFFECT.
6. ALL ROOF PATCHING AND REPAIRS DUE TO DEMOLITION OR CONSTRUCTION PROCESS WHERE EXISTING ROOF EQUIPMENT, VENT PIPES, ETC. WERE REMOVED, PATCH AND REPAIR ROOF DECK, INSULATION, ROOFING ETC. WITH LIKE SYSTEM TO MATCH EXISTING. PROVIDE STRUCTURAL BLOODING SUPPORT FOR DECK INFILLS AS REQUIRED.
7. ALL NEW ROOFING AND FLASHING SYSTEMS SHALL BE INSTALLED PER ROOFING MANUFACTURER'S STANDARD DETAILS AND RECOMMENDATIONS AS REQUIRED FOR COMPLETE WEATHER TIGHT SYSTEM AND ASSURANCE OF MANUFACTURERS WARRANTIES.
8. IF NEW ROOF OPENINGS/ROOFS ARE REQUIRED FOR NEW MECHANICAL EQUIPMENT, PROVIDE PERIMETER STRUCTURAL DECK/ROOF SUPPORTS AS REQUIRED AND REINFORCE EXISTING STRUCTURE IF NECESSARY. ENGINEERING OF NEW OPENINGS/SUPPORTS AND OR STRUCTURAL APPROVALS TO DISTING STRUCTURE FOR NEW ROOF TOP EQUIPMENT SHALL FOLLOW THE DESIGN/BUILD PROCESS AND WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE GC SHALL EMPLOY A REGISTERED ENGINEER IN THE STATE HAVING JURISDICTION FOR DESIGN OF SUCH OPENINGS. DRAWINGS AND CALCULATIONS FOR NEW OPENINGS SHALL BE SUBMITTED TO THE ARCHITECT OF RECORD FOR REVIEW. REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION.



**1. Tactile Exit Signage**

SCALE: NOT TO SCALE



NOTE: TACTILE EXIT SIGNS SHOULD BE ADJACENT TO THE LATCH SIDE OF THE DOOR AND TO THE RIGHT SIDE OF THE DOUBLE DOORS.

- IBC 1011.3 TACTILE SIGN STATING EXIT AND COMPLYING WITH ICC A117.1 SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN EGRESS STARWAY AND EXIT.
IBC 1103.3 OTHER SIGNS, SIGNAGE INDICATING SPECIAL ACCESSIBILITY PROVISIONS SHALL BE PROVIDED AS SHOWN.
ANSI 703.2.2 DEPTH: TACTILE CHARACTERS SHALL BE RAISED 1/32 INCH (3.18 MM) MINIMUM ABOVE THEIR BACKGROUND.
ANSI 703.3.4 STYLE: CHARACTERS SHALL BE SAND SERIF. CHARACTERS SHALL NOT BE ITALIC, OBLIQUE, SCRIPT, HOOKY, DECORATIVE, OR OF OTHER UNUSUAL FORMS.
ANSI 703.3.5 CHARACTER HEIGHT: THE UPPERCASE LETTER 'X' SHALL BE USED TO DETERMINE THE ALLOWABLE HEIGHT OF ALL CHARACTERS OF A FONT. THE HEIGHT OF THE UPPERCASE LETTER 'X' OF THE FONT, MEASURED VERTICALLY FROM THE BASELINE OF THE CHARACTER, SHALL BE 8 OR MORE MM.
ANSI 703.3.10 HEIGHT ABOVE FLOOR: TACTILE CHARACTERS SHALL BE 48 INCHES (1220 MM) MINIMUM ABOVE THE FLOOR, MEASURED TO THE BASELINE OF THE LOWEST TACTILE CHARACTER AND 80 INCHES (2032 MM) MINIMUM ABOVE THE FLOOR, MEASURED TO THE BASELINE OF THE HIGHEST TACTILE.
ANSI 703.3.11 LOCATION: WHERE A TACTILE SIGN IS PROVIDED AT A DOOR, THE SIGN SHALL BE ALONGSIDE THE DOOR AT THE LATCH SIDE, WHERE A TACTILE SIGN IS PROVIDED AT DOUBLE DOORS WITH ONE ACTIVE LEAF, THE SIGN SHALL BE LOCATED ON THE INACTIVE LEAF. WHERE A TACTILE SIGN IS PROVIDED AT DOUBLE DOORS WITH TWO ACTIVE LEAVES, THE SIGN SHALL BE TO THE RIGHT HAND DOOR, WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE OF A SINGLE DOOR OR TO THE RIGHT SIDE OF DOUBLE DOORS. SIGNS SHALL BE ON THE NEAREST ADJACENT WALL. SIGNS CONTAINING TACTILE CHARACTERS SHALL BE LOCATED SO THAT A CLEAR FLOOR AREA 18 INCHES (457 MM) MINIMUM BY 18 INCHES (457 MM) MINIMUM, CENTERED ON THE TACTILE CHARACTER, IS PROVIDED BEHIND THE ARC OF ANY DOOR SWING BETWEEN THE CLOSED POSITION AND 45 DEGREE OPEN POSITION.

**2. Tactile Exit Signage**

SCALE: NOT TO SCALE



**3. Signage - Vinyl Pack**

SCALE: NOT TO SCALE



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04.14.17 CA-369

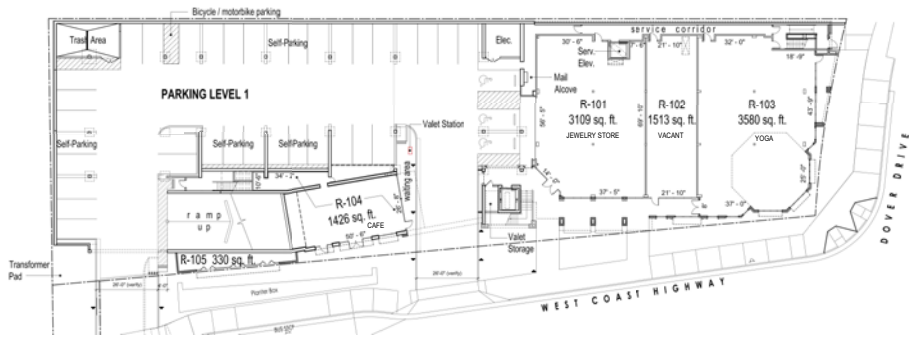
A-1.2

Notes

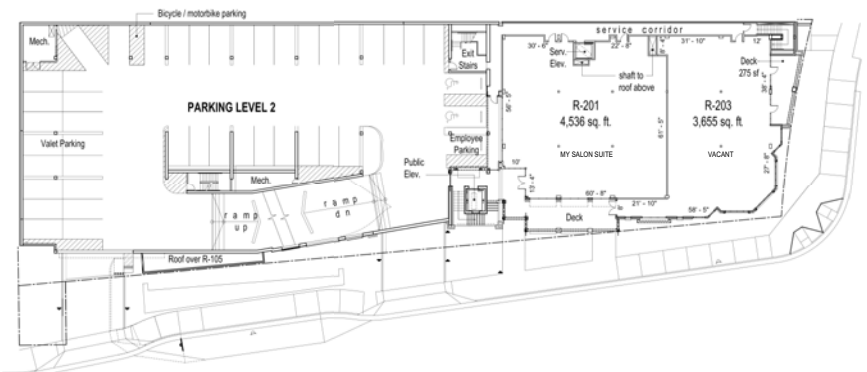




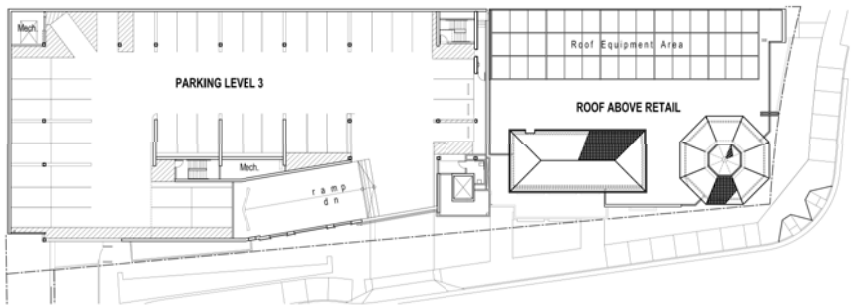




**Parking Level 1**  
1/4" = 1'-0"



**Parking Level 2**  
1/4" = 1'-0"



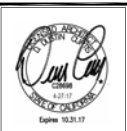
**Parking Level 3**  
1/4" = 1'-0"

**PARKING SUMMARY**

Level One	No. of Spaces	Notes
Self-Parking	28	
Valet Parking	7	
Accessible Space	3	2 Van Accessible
<b>Total Spaces</b>	<b>38</b>	
Level Two	No. of Spaces	Notes
Self-Parking	7	
Valet Parking	47	
Accessible Space	2	1 Van Accessible
<b>Total Spaces</b>	<b>56</b>	
Level Three	No. of Spaces	Notes
Employee Parking	48	
Valet Parking	9	
Accessible Space	5	
<b>Total Spaces</b>	<b>62</b>	
PROJECT TOTAL	No. of Spaces	Notes
Self-Parking	29	
Employee Parking	48	
Valet Space	63	
Accessible Space	5	3 Van Accessible
<b>Project Total Spaces</b>	<b>145</b>	

**TABULATION SUMMARY**

Ground Level	Gross Leasable Area	Service Area	Gross Building Area
Suite R-101	2109 sq. ft.		
Suite R-102	1513 sq. ft.		
Suite R-103	3580 sq. ft.		
Suite R-104	1426 sq. ft.		
Suite R-105	330 sq. ft.		
<b>Total</b>	<b>9958 sq. ft.</b>	<b>933 sq. ft.</b>	<b>10893 sq. ft.</b>
Second Level	Gross Leasable Area	Service Area	Gross Building Area
Suite R-201	4536 sq. ft.		
Suite R-203	3655 sq. ft.		
<b>Total</b>	<b>8191 sq. ft.</b>	<b>821 sq. ft.</b>	<b>9012 sq. ft.</b>
<b>TOTALS</b>	<b>18148 SQ.FT.</b>	<b>1754 SQ.FT.</b>	<b>19905 SQ.FT.</b>



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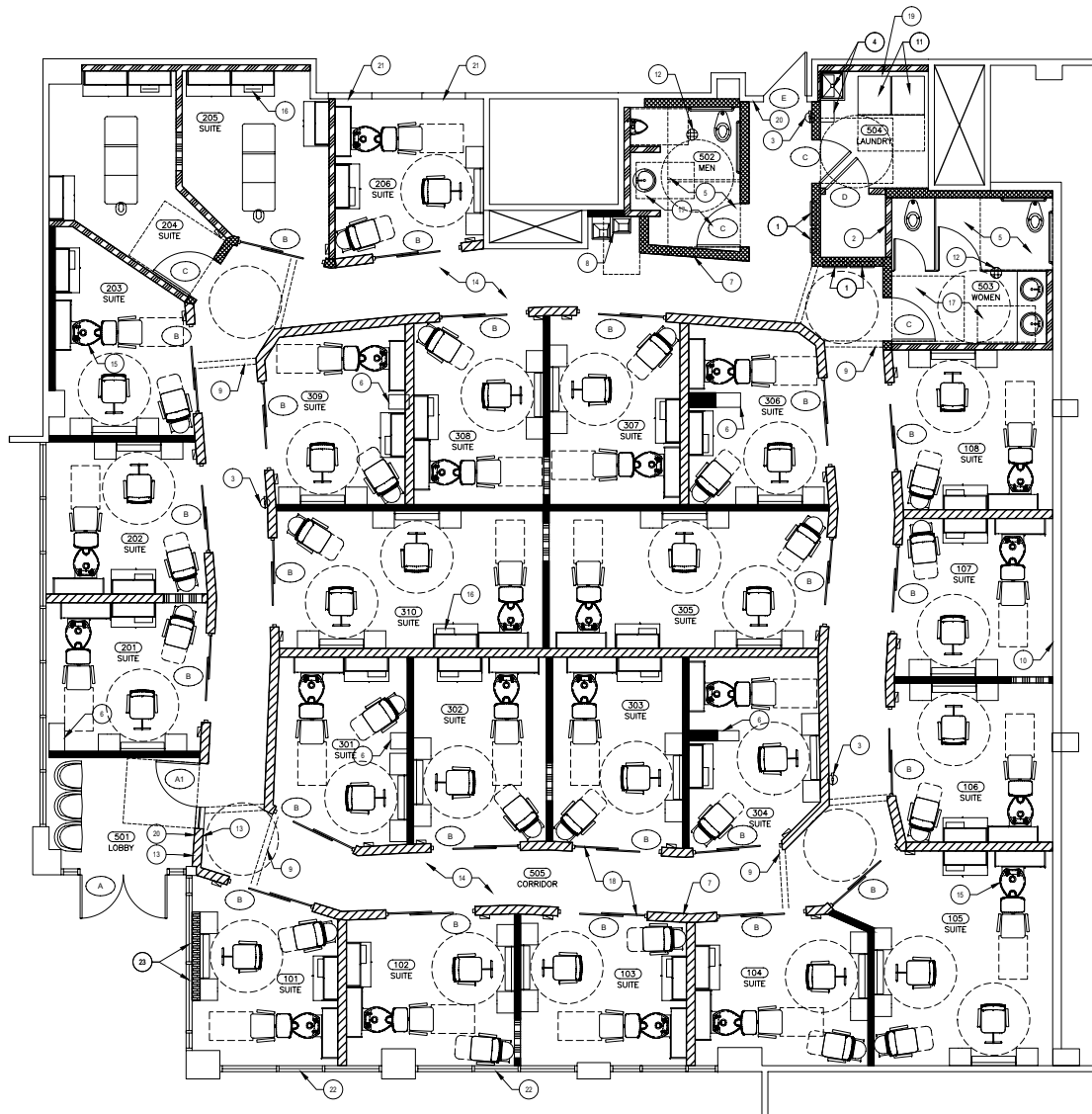
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**A-1.6**  
Parking Plan



**Floor Plan**  
1/4" = 1'-0"

**Floor Plan Keynotes**

1. NEW ELECTRICAL PANELS. SEE ELECTRICAL PLANS.
2. 4" x 4" x 1/2" x 3/4" PLYWOOD TMB, MOUNTED HIGH ON WALL. PAINT TO MATCH SURROUNDING WALLS.
3. FIRE EXTINGUISHER 2A:10BC. TO BE SEMI RECESSED IN WALL IN APPROVED CABINET AT THIS LOCATION. LOCATION MUST NOT EXCEED A DISTANCE OF 75 TO ANY POINT WITHIN THE SUITE.
4. TANKLESS WATER HEATER LOCATION ABOVE UTILITY SINK. SEE PLUMBING PLANS. ALSO SEE ELEVATION 4 ON SHEET A-2.
5. ADA ACCESSIBLE RESTROOM. SEE SHEETS A-5.0, A-5.1 & D-3.
6. EXISTING STRUCTURAL COLUMN TO REMAIN. PATCH/REPAIR AS NEEDED.
7. 1" x 2" x 5/8" METAL STUD WALL. THIS INCLUDES ALL HALLWAY WALLS AND OTHER WALLS AS KEYNOTED. SEE DETAIL A2 SHEET D-1. SIMILAR.
8. HILLO ADA ACCESSIBLE DRINKING FOUNTAIN W/ 30" x 48" CLEAR FLOOR SPACE. REFER TO ACCESSIBILITY NOTES A1.3.
9. DASHED LINE INDICATES HEADER ABOVE. TYPICAL. SEE CEILING PLAN.
10. EXISTING DEMISING WALL.
11. STACK WASHER / DRYER UNIT PROVIDED BY TENANT. PROVIDE WASHER BOX. SEE PLUMBING PLAN.
12. FLOOR DRAIN. SEE PLUMBING PLAN.
13. PUSH BUTTON ACCESS CONTROL BUTTON. SEE MANUFACTURER'S INFORMATION REGARDING INSTALLATION / POWER / DATA. SEE DOOR SCHEDULE ON SHEET A-4.1.
14. G.C. TO PROVIDE LEVEL 5 FINISH WHERE WALLCOVERING IS BEING INSTALLED. REFER TO FINISH SCHEDULE ON SHEET A-4.0.
15. MILLWORK MOUNTED SHAMPOO BOWL. TYPICAL. SEE RESPONSIBILITY MATRIX.
16. MILLWORK MOUNTED SINK. TYPICAL. SEE RESPONSIBILITY MATRIX.
17. TOILET ROOMS TO RECEIVE DUROCK TO 48" A.F.F. WITH MOISTURE RESISTANT GYP. BOARD ABOVE.
18. SLIDING GLASS DOOR OPENINGS TO BE FINISHED DRY WALL WITH EMBEDDED STEEL CORNERS, FINISHED TO LEVEL 4 AND READY FOR INSTALLATION OF SLIDING GLASS DOORS. TYPICAL OF ALL SLIDING GLASS DOORS INSTALLED.
19. PROVIDE DRYER EXHAUST VENT DUCT THRU BACK WALL. SEE DETAIL M1 / D-3.
20. PROVIDE TACTILE AND BRAILLE EXIT SIGN ON WALL @ EXIT DOORS. SEE DETAIL 1 & 2 ON SHEET A-1.2.
21. EXISTING DOORS TO BE CLOSED AND LOCKED IN PLACE. HARDWARE TO BE REWORKED. PATCH DOORS AS NEEDED. DRYWALL OVER SUITE SIDE OF DOOR FOR FLUSH SEAMLESS FINISH.
22. NEW GLASS AND BOTTOM FRAME AT OPENING TO MATCH EXISTING.
23. APPLY FROSTED FILM ON INSIDE OF WINDOWS AT LOCATION OF NEW WALL ONLY.

Wall Legend	
	INTERIOR WALL
	EXISTING WALL
	NEW WALL
	INTERIOR WALL WITH NO INSULATION - TYPE A 3/8" METAL STUD - SEE DETAIL A1, SHEET D-1
	INTERIOR WALL WITH INSULATION - TYPE A 3/8" METAL STUD - SEE DETAIL A1, SHEET D-1
	INTERIOR WALL WITH INSULATION - TYPE B 6" METAL STUD - SEE DETAIL A2, SHEET D-1
	INTERIOR WALL AT CORRIDORS - TYPE B 6" METAL STUD - SEE DETAIL A2, SHEET D-1
	INTERIOR WALL FRAMED FOR FUTURE OPENING - PASS THRU - SEE DETAIL A15/16, SHEET D-1
	INTERIOR WALL - PARTIAL HEIGHT - WALL TO STOP AT UNDERSIDE OF CEILING/STORY WINDOWS. 6" METAL STUD - SEE DETAIL A4, SHEET D-1

Doors	
SEE DETAIL A6, SHEET D-1 FOR REQUIRED DOOR CLEARANCES.	
	EXISTING DOOR OR PAIR OF DOORS
	EXISTING DOOR OR PAIR OF DOORS TO BE REMOVED
	EXISTING DOOR OR PAIR OF DOORS TO BE RELOCATED. PRELOCATE TO LOCATION OF CORRESPONDING NEW DOOR.
	RELOCATED DOOR OR PAIR OF DOORS.
	NEW DOOR OR PAIR OF DOORS.
	POCKET DOOR (SHALL HAVE 32" MIN. CLEAR OPENING)
	NEW DOOR OR PAIR OF DOORS SEE CORRESPONDING LETTER ON DOOR SCHEDULE ON SHEET A-4.1

Windows	
	SIZE AS INDICATED ON PLAN. TOP OF WINDOW AT 4'-0" (TYPICAL) USE TEMPORARY GLASS AS REQUIRED.

- General Notes**
- A. FURNITURE PLACEMENT SHALL NOT RESTRICT ADA ACCESS REQUIRED.
  - B. CONTRACTOR TO PROVIDE MIN. R-38 BATT INSULATION AT ROOF DECK SPACE IN ANY LOCATIONS WHERE IT IS NOT CURRENTLY INSTALLED. EXTERIOR WALLS SHALL BE MIN. R-13 INSULATED.
  - C. ROOF PENETRATIONS AND ROOF WORK TO BE PERFORMED BY LANDLORD'S CONTRACTOR IF REQUIRED, VERIFY WITH LANDLORD.
  - D. ANY DISTURBANCE TO THE FLOOR SLAB MUST BE TREATED FOR TERMITES PROTECTION PRIOR TO THE REPLACEMENT OF THE CONCRETE FLOOR.
  - E. G.C. SHALL VERIFY EXISTING CONDITIONS IN FIELD FOR INCLUDING BUT NOT LIMITED TO: SPACE DIMENSIONS, OBSTRUCTIONS, HINDER CONDITIONS OR CONFLICTS WITH DRAWINGS. CONTACT ARCHITECT @ START OF CONSTRUCTION IF CONFLICTS ARE NOT REPORTED PRIOR TO START OF CONSTRUCTION. G.C. WILL BE HELD RESPONSIBLE FOR ANY CHANGES OR WORK DUE TO UNREPORTED DEFICIENCIES AND SHALL BE @ G.C.'S EXPENSE.
  - F. USE C80 RER-340P MANUF-CEMCO-(800) 775-2382 OR APPROVED EQUAL FOR STEEL STUDS.
  - G. ALL THROUGH WALL PENETRATIONS TO BE SEALED PRIOR TO PAINTING.
  - H. SEE SHEET D-1 FOR ADDITIONAL FRAMING / BLOCKING DETAILS FOR CABINETS.
  - I. PROVIDE BAKING AS REQUIRED FOR ALL ACCESSORIES IN TOILET ROOM. REF: SHEET D-1.
  - J. PROVIDE 3/4" FIRE RETARDANT PLYWOOD BEHIND ALL TELEPHONE PANELS. PAINT TO MATCH WALL FINISH PRIOR TO HARDWARE INSTALLATION.
  - K. ALL EXISTING DOORS AND WINDOWS STOREFRONT TO BE REPAIRED / CLEANED AS NEEDED AND LEFT IN LIKE NEW CONDITION.
  - M. FURR OUT ANY EXISTING CMU WALLS AS NECESSARY TO RECEIVE WALL OUTLETS AND/OR PLUMBING AS REQUIRED PER PLAN.



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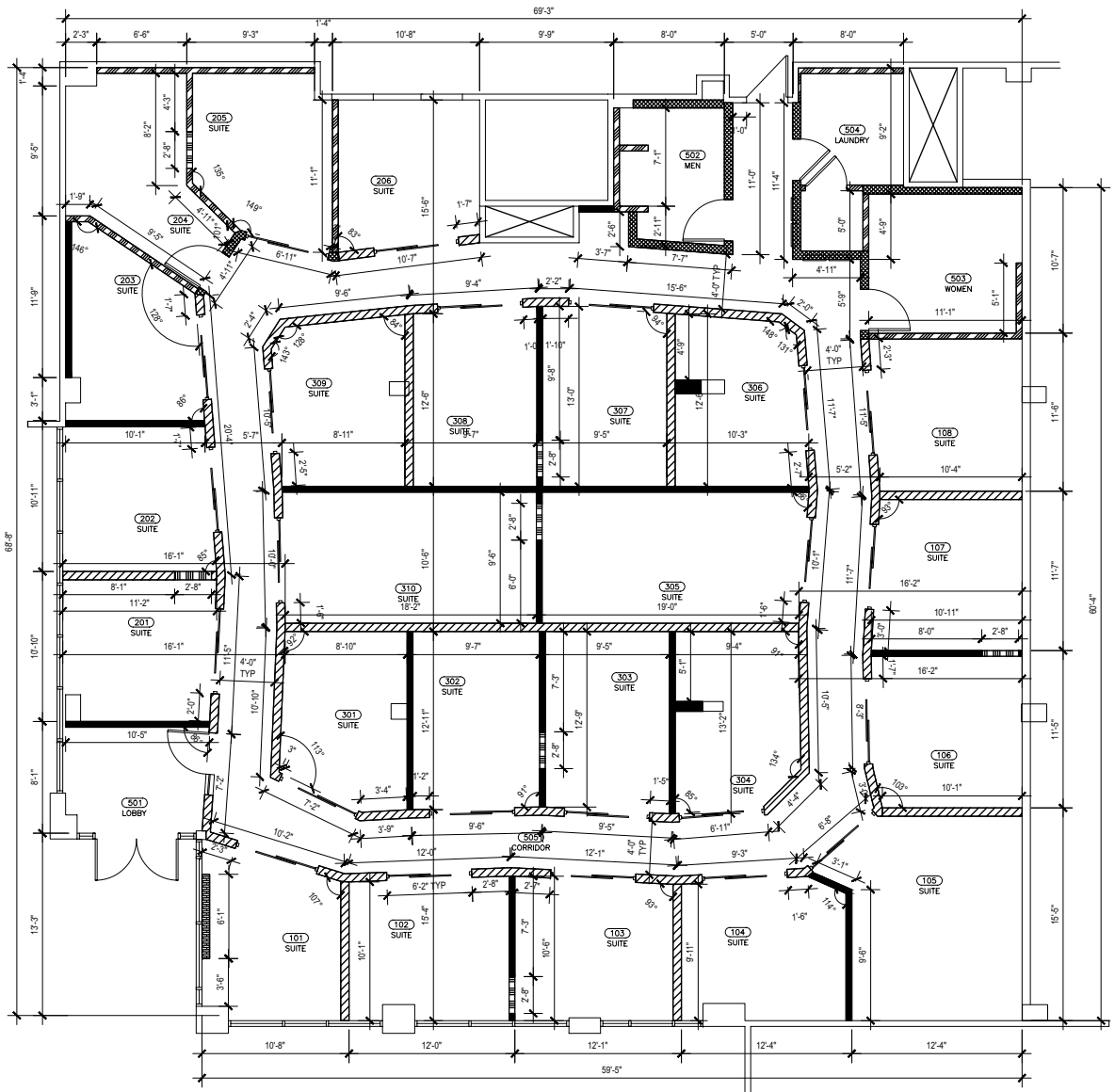
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**A-2.0**  
Floor Plan

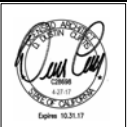




**Dimensioned Floor Plan**  
1/4" = 1'-0"

**General Notes**

A. ALL DIMENSIONS ARE TO FACE OF GYP. BS. OR FACE OF CMU WALL.  
 B. TYP CORRIDOR WIDTH IS 4'-0"  
 C. REFERENCE SHEET D-1 FOR ADDITIONAL FRAMING/BLOCKING DETAILS FOR CABINETS



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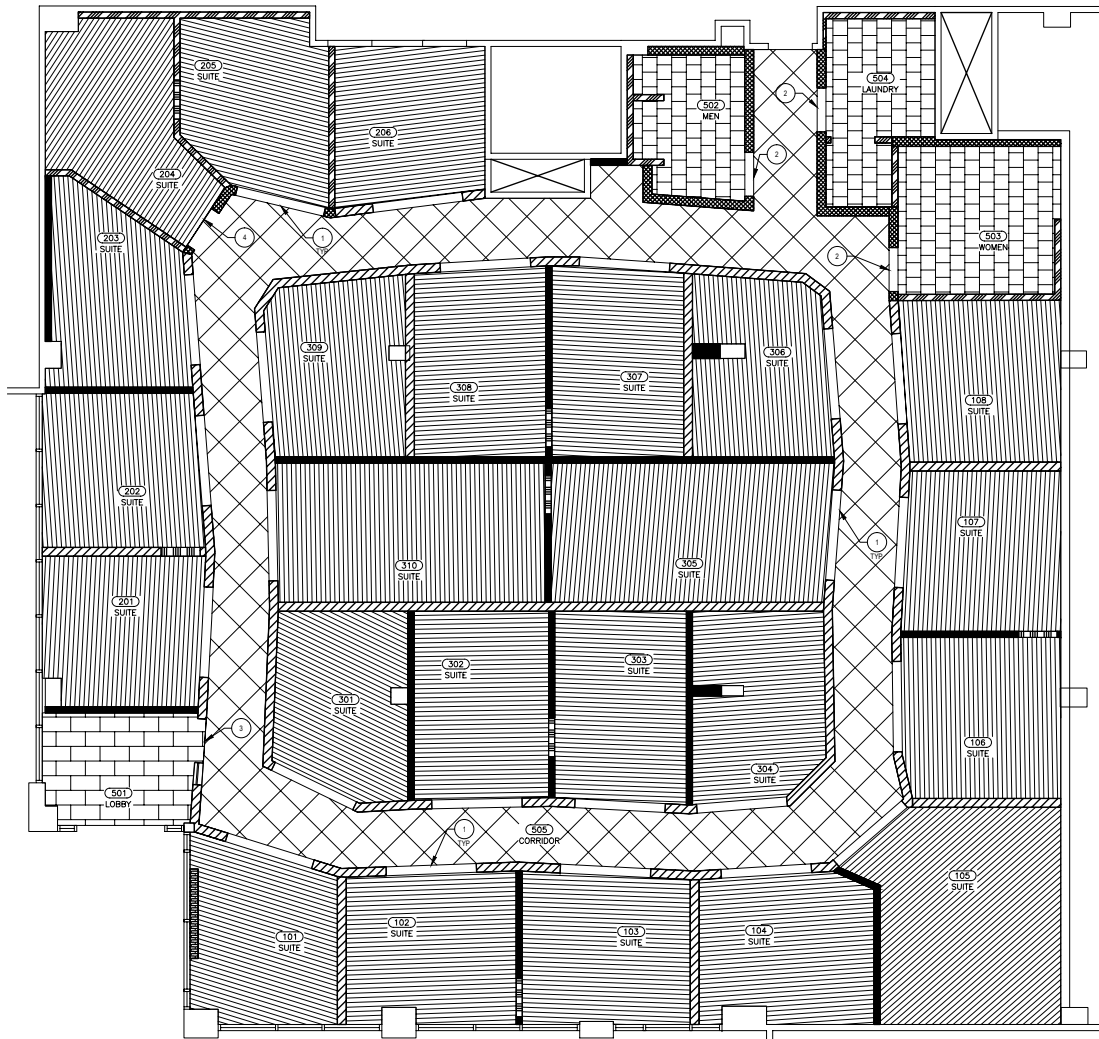
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**A-2.1**  
 Dimensioned Floor Plan



**Floor Finish Plan**  
1/4" = 1'-0"

**Finish Legend**

SEE SHEET A-4 FOR FLOOR FINISH SPECIFICATIONS.

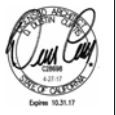
	VT-1 VINYL TILE - DIRECTION OF FLOORING TO BE INSTALLED PARALLEL TO THE ROOM THRESHOLD
	C-1 CARPET TILE TO BE INSTALLED AT 45° DIAGONAL ANGLE TO EXTERIOR. THERE SHOULD BE NO STRAIGHT SEAMS IN CORRIDOR
	T-1 TILE TO BE INSTALLED AS SHOWN - PARALLEL TO THE DOOR THRESHOLD
	T-2 TILE TO BE INSTALLED AS SHOWN - PARALLEL TO THE DOOR THRESHOLD

**Floor Finish Keynotes**

1. SLIDING DOOR TRACK. FLOOR FINISH SHALL TERMINATE RIGHT TO METAL DOOR TRACK, TYPICAL.
2. MARBLE THRESHOLD. SEE DETAIL A6 ON SHEET D-2.
3. CARPET TO TILE TRANSITION. SEE DETAIL A1 ON SHEET D-2.
4. CARPET TO VINYL TRANSITION. SEE DETAIL A4 ON SHEET D-2.

**General Notes**

- SEE SHEET A-4 FOR FLOOR FINISH SPECIFICATIONS.
- MOISTURE CONTENT OF SLAB SHALL BE TESTED BY G.C. AND WITHIN MANUFACTURERS SPECIFIED ALLOWANCE PRIOR TO INSTALLATION OF ALL FLOORING.
- G.C. IS RESPONSIBLE FOR ACHIEVING A SMOOTH TRANSITION BETWEEN FINISHED FLOOR & SIDEWALK AT EXTERIOR DOORS.
- G.C. TO PROVIDE PROTECTION FOR ALL FLOORING AFTER IT HAS BEEN INSTALLED TO PREVENT DAMAGE.
- G.C. SHALL PROVIDE A LEVEL FLOOR OR LANDING ON EACH SIDE OF A DOOR NOT MORE THAN 1/2" LOWER THAN THE THRESHOLD OF THE DOORWAY.
- CONCRETE POURBACK MUST MATCH LANDLORD SPECIFICATIONS OR EXISTING IN FIELD, WHOEVER IS GREATER. CONTRACTOR TO NOTIFY LANDLORD REPRESENTATIVE MINIMUM 48 HOURS PRIOR TO POURBACK FOR VISUAL INSPECTION.
- CONCRETE SLAB INFILL BY G.C. VIF. 4" THICK CONCRETE SLAB REINFORCED WITH #3 REBAR @ 18" O.C. EACH DIRECTION OVER 10 MIL. VAPOR RETARDER. EXCAVATE 2" OF EXISTING SOILS AND PROVIDE A MINIMUM 3" OF PAD OF COMPACTED SELECT FILL OR COMPACTED LIME TREATED SOIL IN ACCORDANCE WITH SOILS REPORT. REBAR REINFORCING SHALL BE CHARGED TO MAINTAIN THE REINFORCING AT ONE THIRD THE DEPTH BELOW THE TOP SURFACE DURING CONCRETE PLACEMENT. SEE GEOTECHNICAL REPORT, FROM LANDLORD.
- REFERENCE DETAIL A6 ON SHEET D-2 FOR SAWCUTTING/POURBACK DETAIL AND SPECIFICATIONS.
- ALL CARPET TILES SHALL BE INSTALLED WITH A 1/4" TURN LAYOUT.
- ALL FLOOR AND WALL PENETRATIONS ARE TO BE SEALED PER IBC, SECTION 713.1.2.3 AND ASTM E-814.
- SHEET VINYL AND VCT FLOORING. CLEAN AND APPLY (2) COATS GLOSS WAX PER MANUFACTURERS GUIDELINES PRIOR TO APPLICATION.



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**MY SALON**  
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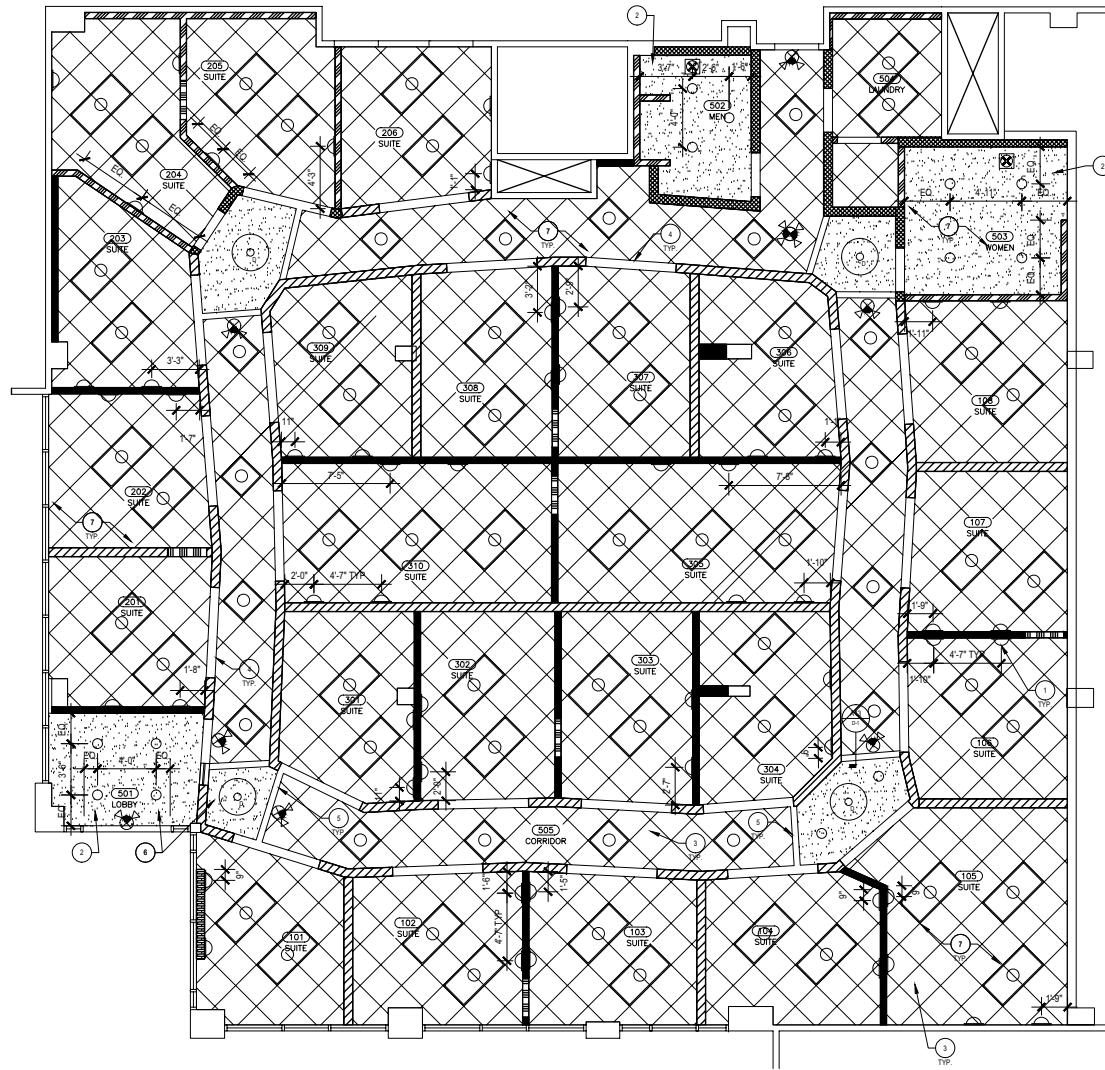
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**A-2.2**  
Floor Finish Plan





**Ceiling Plan**  
1/4" = 1'-0"

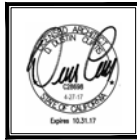
### Ceiling Legend

SEE ELECTRICAL PLANS FOR SPECIFICATIONS

- 2' X 2' CEILING GRID WITH LAY-IN PANELS: SEE DETAIL A11 SHEET D-1. GRID TO BE AT A 45° ANGLE TO EXTERIOR WALL. NO STRAIGHT LINES IN CORRIDOR.
- WALL MOUNTED SCIENCE - SEE TYPICAL SUITE ELEVATION FOR MOUNTING HEIGHT. SCIENCE TO BE CENTERED ABOVE MILLWORK.
- PARA 2 X 2 LED LAY-IN FIXTURE
- PARA 2 X 4 LED LAY-IN FIXTURE
- EXIT LIGHT W/ BATTERY PACK
- COMBINATION EXIT / EMERGENCY LIGHT W/ BATTERY PACK
- 6" LED DOWNLIGHT
- FLUORESCENT STRIP LIGHT
- PENDANT DRUM LIGHT - BOTTOM OF FIXTURE AT F.P.C.
- INDICATES CEILING HEIGHT
- DROP DOWN EMERGENCY LIGHT
- 5/8" DRYWALL BOARD CEILING / SOFFIT SEE DETAIL A11 SHEET D-1
- EXHAUST FAN
- RETURN AIR GRILLE
- SALON ROOM BLADE SIGN
- SUPPLY AIR DIFFUSER

- ### Ceiling Plan Keynotes
1. WALL MOUNTED SCIENCE LIGHTING CENTERED ON MILLWORK. TYP. FINAL LOCATION TO BE DETERMINED BY MILLWORK. REFER TO INTERIOR ELEVATIONS FOR MOUNTING HEIGHT DIMENSIONS.
  2. 5/8" TYPE 'X' GYP. BD. CEILING. PAINT P-1.
  3. CEILING GRID TO BE SET AT 45 DEGREE ANGLE IN REFERENCE TO EXTERIOR WALLS. TYPICAL.
  4. DOOR HEADER. TYPICAL. SEE DETAIL 2 ON SHEET A-4.1
  5. 5/8" TYPE 'X' GYP. BD. BULKHEAD. SEE DETAIL 13 ON SHEET D-1
  6. GC TO INSTALL BOX FOR OVERHEAD DOOR SENSOR AT LOBBY. COORDINATE FINAL LOCATION IN FIELD.
  7. TYPICAL CEILING HEIGHTS ARE: RESTROOMS: 9'-0" SUITES: 10'-0" LAUNDRY: 10'-0" CORRIDORS: 11'-0" CORRIDOR DRYWALL CORNERS: 12'-0" LOBBY: 12'-0". DUE TO THE EXISTING SLOPING CEILING, CEILING HEIGHTS MAY VARY. CEILINGS TO BE INSTALLED AS CLOSE AS POSSIBLE TO TYPICAL CEILING HEIGHTS. CORRELATE ALL FINAL CEILING HEIGHTS WITH SALON PLAZA PROJECT MANAGER.

- ### General Notes
- A. IT SHALL BE THE G.C.'S RESPONSIBILITY TO UNLOAD INVENTORY AND STORE LIGHTING PACKAGE. THE G.C. SHALL ALSO SHIP ANY EXCESS MATERIALS BACK TO THE ELECTRICAL PACKAGE DISTRIBUTOR.
  - B. EXIT LIGHTS SHALL BE CEILING MOUNTED AND CENTERED OVER OPENINGS. IF PLAN LOCATIONS ARE NOT ACCEPTABLE, IMMEDIATELY CONTACT MY SALON SUITE PROJECT MANAGER FOR DIRECTION.
  - C. WHERE DRYWALL CEILINGS ARE USED, G.C. SHALL ARRANGE CIRCUITS TO AVOID THE USE OF JUNCTION BOXES IN INACCESSIBLE LOCATIONS. THE USE OF JUNCTION BOXES ABOVE DRYWALL CEILINGS SHALL BE LIMITED TO LOCATIONS NEAR ACCESS FRAMES USED FOR DIFFUSERS AND RETURN AIR GRILLES OR ACCESS PANELS AS LOCATED ON PLANS. IF PLAN LOCATIONS ARE NOT ACCEPTABLE, IMMEDIATELY CONTACT MY SALON SUITE PROJECT MANAGER FOR DIRECTION.
  - D. SWITCH INDIVIDUAL ROOM LIGHT FIXTURES SEPARATELY & OPEN AREAS TOGETHER. SEE ELECTRICAL DRAWINGS.
  - E. SEE SHEET A-4 FOR CEILING SPECIFICATIONS.
  - F. SEE MECHANICAL DRAWINGS FOR HVAC SUPPLY RETURN GRILLES & EXHAUST FANS.
  - G. ADEQUATE ACCESS PANELS OR DOORS SHALL BE INCORPORATED INTO TENANT WORK FOR INSPECTION SERVICE AND REPLACEMENT OF BOTH LANDLORD AND TENANT EQUIPMENT. COORDINATE PLACEMENT WITH LANDLORD'S SERVICE REPRESENTATIVE.
  - H. CONTRACTOR TO VERIFY ALL PROPOSED CEILING HEIGHTS SHOWN ARE POSSIBLE PRIOR TO CONSTRUCTION. CONTRACTOR TO VERIFY THAT CEILING HEIGHTS DO NOT CONFLICT WITH EXISTING ROOF STRUCTURE.
  - I. MAXIMUM 10'-0" O.C. BETWEEN 2X2 LED FIXTURES IN CORRIDOR.
  - J. EMERGENCY LUMINAIRES SHALL BE CIRCUITED WITH AN "UNSWITCHED HOT" TO PROVIDE CONTINUOUS POWER TO BATTERY PACK EVEN WHEN LUMINAIRES IS OFF. SEE ELEC PLANS FOR EMERGENCY LIGHTING LOCATIONS.
  - K. ALL NIGHT-LIGHT LUMINAIRES SHALL BE CIRCUITED AHEAD OF ANY SWITCHING. SEE ELEC DRAWINGS.
  - L. EXIT LIGHTS ALL SHALL BE CEILING MOUNTED AND CENTERED OVER OPENINGS. IF PLAN LOCATIONS ARE NOT ACCEPTABLE, IMMEDIATELY CONTACT MY SALON SUITE PROJECT MANAGER FOR DIRECTION.
  - M. WHERE DRYWALL CEILINGS ARE USED, GC SHALL ARRANGE CIRCUITS TO AVOID THE USE OF JUNCTION BOXES IN INACCESSIBLE LOCATIONS. LIMIT USE OF JUNCTION BOXES ABOVE DRYWALL CEILINGS TO LOCATIONS NEAR ACCESS FRAMES USED FOR DIFFUSERS AND RETURN AIR GRILLES OR ACCESS PANELS. CONTACT MY SALON SUITE PROJECT MANAGER FOR DIRECTION.
  - N. SPRINKLER HEAD COVERS TO MATCH CEILING.
  - O. SEE ENLARGED SUITE PLAN AND TYPICAL SUITE ELEVATIONS ON A-3.2 FOR ALL DIMENSIONS FOR WALL SCIENCE LOCATIONS.
  - P. ALL 2X2 LIGHTS IN CORRIDOR TO BE CENTERED IN CORRIDOR. CONTRACTOR TO OVERSEE CEILING GRID LAYOUT TO ENSURE LIGHTS ARE CENTERED AND NOT TOUCHING WALLS. IF THIS CANNOT BE ACHIEVED, PLEASE CONTACT MY PROJECT MANAGER IMMEDIATELY.
  - Q. SUPPLY DIFFUSERS SHOULD NEVER BE LOCATED DIRECTLY ABOVE STYLUS STATIONS OR SHAMPOO STATIONS. CONTRACTOR TO VERIFY EACH ROOM LAYOUT AND NOTE WHERE STYLUS AND SHAMPOO STATIONS ARE LOCATED AND PLACE SUPPLY DIFFUSERS AS FAR AWAY FROM THESE STATIONS AS POSSIBLE.



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**A-3.0**  
Ceiling Plan

### Finish Schedule Comments

1. G.C. TO PAINT ALL WALLS CUSTOM COLORS BY FRANCHISEE AFTER C.O. OR WITH FRANCHISEE APPROVAL.
2. SEE ELEVATIONS FOR TYPICAL WALL TILE PATTERN.
3. SEE ELEVATIONS FOR FRP LOCATIONS.
4. SEE FLOOR FINISH PLAN FOR FLOORING DIRECTION.
5. USE BRISTROCK WALL AND CEILING SPRAY TEXTURE, ORANGE PEEB, MULTIPURPOSE LATEX PRIMER SEALER (85100405) SUITES ONLY. APPLIED TO ALL FOUR WALLS ONLY.
6. GROUT JOINT WIDTH - FOLLOW MANUFACTURERS RECOMMENDED WIDTH.
7. SEE FLOOR TRANSITION DETAILS D-2.

### General Notes - Finishes

- A. G.C. TO SUBMIT SAMPLES OF ALL LISTED FINISHES TO ARCHITECT/DESIGNER FOR APPROVAL PRIOR TO ORDERING.
- B. ROOM FINISH SCHEDULE TO BE CROSS REFERENCED WITH ROOM FINISH PLANS, RCP, INTERIOR ELEVATIONS, DETAILS, ETC. ANY INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- C. REFER TO FINISH SCHEDULE FOR AN INCLUSIVE LIST OF ACCENT PAINT AND FLOOR FINISH LOCATIONS.
- D. START TILE PATTERNS IN CENTER OF ROOM AT CENTER LINE OF GROUT JOINT AND WORK TOWARD THE PERIMETER WALLS TO PREVENT SLIVERS OF LESS THAN 4" WID.
- E. ALL TILE BASE GROUT JOINTS TO ALIGN WITH FLOOR TILE GROUT JOINTS. GROUT SIZING PER MANUFACTURERS RECOMMENDATIONS.
- F. CONTRACTOR TO FOLLOW MANUFACTURERS INSTRUCTION FOR PROPER INSTALLATION, CLEANING AND SEALING PRE AND POST GROUTING (IF APPLICABLE) OF ALL FINISH MATERIALS.
- G. PAINT ALL ELECTRICAL PANELS AND REAR EXIT DOOR AND FRAME TO MATCH HALLWAY VINYL BASEBOARD COLOR IN ALL 000 DOWNS. FINISH.
- H. PREPARE ALL EXISTING SUBSTRATES (FLOORS, WALLS, CEILING) TO RECEIVE NEW FINISHES. SUBCONTRACTORS INSTALLATION OF MATERIALS INDICATES ACCEPTANCE OF SUBSTRATE.
- I. PROVIDE SEALANT AT BASE OF DOOR FRAMES AT FLOOR.
- J. ALL FINISHES MUST MEET THE REQUIREMENTS OF NFPA 101 (CURRENT EDITION) SECTION 7-3.3.1 FOR FLAME SPREAD AND SMOKE GENERATION.
- K. THE CONTRACTOR SHALL PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT RESTROOM AND SHOWER ROOM WALLS.
- L. ALL INTERIOR FINISHES SHALL BE CLASS 'C' FINISHES.
- M. RESTROOMS SHALL RECEIVE IMPERVIOUS PAINT FINISH THROUGHOUT.
- N. WALLCOVERING SIZING AS RECOMMENDED BY MANUFACTURER.
- O. INSTALL SCHLUTER EXK-6 BRUSHED STAINLESS STEEL (E370A B 8 6003) AT ENDS OF CORNERS OF WT-1,2,3.
- P. AREAS TO RECEIVE WALLCOVERING TO HAVE OIL BASED PRIMER PRIOR TO WALLCOVERING INSTALLATION.
- Q. ALL INTERIOR PARTITIONS TO BE NON INSULATED AND NON RATED UNO.
- R. ALL THROUGH WALL PENETRATIONS TO BE SEALED PRIOR TO PAINTING.
- S. ALL WALLS TO BE PAINTED SHALL RECEIVE (2) COATS PAINT WITH LEVEL 4 FINISH.
- T. REFERENCE SHEET D1 FOR ADDITIONAL FRAMING/CLOCKING DETAILS FOR CABINETS.
- U. PROVIDE 3/4" FIRE RETARDANT PLYWOOD BEHIND ALL TELEPHONE PANELS. PAINT TO MATCH WALL FINISH PRIOR TO HARDWARE INSTALLATION. BACKING AS REQUIRED FOR ALL ACCESSORIES IN TOILET ROOM. SEE SHEET D1.
- V. GC TO POST A SIGN ABOVE ENTRY DOORS WITH ONE INCH LETTERS STATING THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED. WHEN UNLOCKED DOORS MUST SWING WITHOUT OPERATION OF ANY LATCHING DEVICE (NOTE DEADBOLT IS NOT ALLOWED ON SECOND DOOR).
- W. GC TO INSTALL SUITE ADDRESS NUMBER ON ALL ACTIVE DOORS. VERIFY WITH PROPERTY OWNER/GOVERNING AGENCY FOR REQUIREMENTS.
- X. ALL ROOF PENETRATIONS MUST BE PERFORMED BY LANDLORDS ROOFING COMPANY.

### Room Finish Schedule

	FLOOR	BASE	WNSCT	WALL	CEILING	REMARKS
100-300	VINYL PLANK (VT-1)	CERAMIC TILE (T-1)	CARPET TILE (C-1)	CARPET TILE (C-1)	EXISTING TO REMAIN	
501	POURCELAN TILE (P-1)	4" HIGH VINYL (B-1)	4" HIGH VINYL (B-2)	POURCELAN TILE (P-3)	4" HIGH VINYL (B-1)	
502	POURCELAN TILE (P-1)	4" HIGH VINYL (B-1)	4" HIGH VINYL (B-2)	POURCELAN TILE (P-3)	4" HIGH VINYL (B-1)	
503	POURCELAN TILE (P-1)	4" HIGH VINYL (B-1)	4" HIGH VINYL (B-2)	POURCELAN TILE (P-3)	4" HIGH VINYL (B-1)	
504	POURCELAN TILE (P-1)	4" HIGH VINYL (B-1)	4" HIGH VINYL (B-2)	POURCELAN TILE (P-3)	4" HIGH VINYL (B-1)	
505	POURCELAN TILE (P-1)	4" HIGH VINYL (B-1)	4" HIGH VINYL (B-2)	POURCELAN TILE (P-3)	4" HIGH VINYL (B-1)	

#### Note

SEE DIVISION 8 OF THE SPECIFICATIONS CONTAINING IMPORTANT INFORMATION RELATIVE TO BUILDING CODES, CITY ORDINANCES, MATERIALS AND MENTORATIONS.



#### General Notes

- A. FLOORS IN RESTROOMS SHALL HAVE A SMOOTH, HARD NONABSORBENT SURFACE SUCH AS PORTLAND CEMENT, CERAMIC TILE, CONCRETE, OR OTHER APPROVED MATERIAL, WHICH EXTENDS UPWARD ONTO THE WALLS AT LEAST 4 INCHES.
- B. PROVIDE BURCK TO 48" A.F.F. WITH MOISTURE RESISTANT GYP. BOARD ON THE WALLS IN RESTROOMS.
- C. WALLS IN RESTROOMS WITHIN 2 FEET OF THE FRONT AND SIDES OF URINALS AND WATER CLOSETS SHALL HAVE A SMOOTH, HARD NONABSORBENT SURFACE TO A HEIGHT OF 4 FEET.

#### Remarks

1. BASE SHALL BE CUT TO FIT.
2. COUNTERTOP SHALL BE GRANITE (G-1).

MANUFACTURER & MODEL #	STYLE	COLOR/ FINISH	REMARKS
<b>Wall Finishes</b>			
PAINT COLOR P-1	SHERWIN WILLIAMS ALTERNATE: BENJAMIN MOORE	PRO MAR 200 (ZERO VOC) MATCH SW7007	EGGSHELL
PAINT COLOR P-2	SHERWIN WILLIAMS ALTERNATE: BENJAMIN MOORE	PRO MAR 200 (ZERO VOC) SW6126 NAVAJO WHITE (M-30 (BONE WHITE))	EGGSHELL ORANGE PEEB FINISH IN SUITES ONLY
PAINT COLOR P-3	SHERWIN WILLIAMS ALTERNATE: BENJAMIN MOORE	PRO MAR 200 (ZERO VOC) MATCH B-1 COLOR	
WALLCOVERING WC-1	EYKON MISS 13007	WALL PAPER SIZING AS RECOMMENDED BY MFR.	CORRIDOR URBAN GALLERY WALL TO HAVE LEVEL 5 FINISH PRIOR TO INSTALLATION OF WALLCOVERING RON CARROWAY 205.936.4792
WALLCOVERING WC-2	EYKON MISS 39969	WALL PAPER SIZING AS RECOMMENDED BY MFR.	BRUSHWORK OCEAN WALL TO HAVE LEVEL 5 FINISH PRIOR TO INSTALLATION OF WALLCOVERING
CERAMIC TILE WT-1	DAL TILE REFLECTIVE ELEMENTS	12 x 24 #N86012241P	GRAPHITE GROUT SIZING PER MANUFACTURERS RECOMMENDATION. LATICRETE: COLOR: 45 RAVEN
CERAMIC TILE WT-2	DAL TILE REFLECTIVE ELEMENTS	12 x 12 DIAGONAL PATTERN ABOVE WT-3 #N86012121P	GRAPHITE GROUT SIZING PER MANUFACTURERS RECOMMENDATION. LATICRETE: COLOR: 45 RAVEN
CERAMIC TILE WT-3	DAL TILE	4" BORDER	ENDIAVORS NEW AGE F162 RANCOM ZEN - 68" GROUT SIZING PER MANUFACTURERS RECOMMENDATION. LATICRETE: COLOR: 45 RAVEN
<b>Floor Finishes</b>			
VINYL PLANK VT-1	LEGACY PLANK LCP 5484 GOLDEN PECAN		VERTICAL BAMBOO GLENN HEYMAN 847.208.7369
CERAMIC TILE T-1	DAL TILE VERANDA	13 x 13 P500	STEEL GROUT SIZING PER MANUFACTURERS RECOMMENDATION. LATICRETE: COLOR: 45 RAVEN
PORCELAN TILE T-2	DAL TILE FABRIQUE	12 x 24 FLR UNPOL P690	GRIS LINEN GROUT SIZING PER MANUFACTURERS RECOMMENDATION. LATICRETE: COLOR: 185 NEW TAUPE
CARPET TILE C-1	PATCRAFT PATTERN: CONSTRUKT	LIQUID MODULAR 24 x 24	LAUNDERED SHEETS INSTALLATION: QUARTER TURNED BILL MCCOYDEN (639) 922-0200
<b>Bases</b>			
VINYL BASE B-1	TARKETT DIPLOMAT	4"	IGUANA KEVIN TIERNEY 713.254.7664
VINYL BASE B-2	TARKETT DIPLOMAT	4"	BLACK
CERAMIC B-3	DAL TILE FABRIQUE	3"X12" P680	GRIS LINEN
<b>Wainscott</b>			
FRP PANELS	MARLITE P-100	WHITE EMBOSSED PANEL W/ ACCESSORY TRIM TO 48" A.F.F. MIN.	WHITE TOP / EXPOSED EDGES TO BE FINISHED WITH CAULK
<b>Ceilings</b>			
ACOUC. CEL. AT-1	ARMSTRONG	DUNE #1774 TEGULAR 24" X 24" (WHITE)	GRID: T201BL 12FT HD MAIN BEAM (BLACK) T208BL 2FT CROSS TEE (BLACK) T342BL 4FT HD CROSS TEE (BLACK) T800 BL WALL ANGLE (BLACK) - LOUIS JOHN 407.897.8768
<b>Other Items</b>			
Q-1	GRANITE TOP	2" THICKNESS - SQUARE EDGE	BLACK GALAXY @ RESTROOMS
TS-1	BLACK MARBLE THRESHOLD		
FRP-1	WHITE EMBOSSED WITH WHITE TRIM		
<b>SIGNAGE - PUSH / PULL</b>			
	C.R. LAURENCE	4EP8BU4EP8PSL	BRUSHED STAINLESS 4 1/2" PULL / PULL INDICATOR TO BE MOUNTED ABOVE AND DIRECTLY OVER THE DOOR HANDLE



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**A-4.0**  
Schedules

Door Schedule											
FRAME	DOOR				RATING	HARDWARE		REMARKS			
EXISTING / MATCH EXISTING FRAME	ALUMINUM CLEAR ANODIZED FRAMELESS	PAINTED HOLLOW METAL	304 STAINLESS STEEL	304 STAINLESS STEEL WITH TRACK	GROUP 1	GROUP 2	GROUP 3	GROUP 4	GROUP 5	GROUP 6	GROUP 7
EXISTING / MATCH EXISTING FRAME	ALUMINUM CLEAR ANODIZED FRAMELESS	PAINTED HOLLOW METAL	304 STAINLESS STEEL	304 STAINLESS STEEL WITH TRACK	GROUP 1	GROUP 2	GROUP 3	GROUP 4	GROUP 5	GROUP 6	GROUP 7
A	STOREFRONT										1,3,4,5
A1	LOBBY										1,3
B	SUITES										
C	LAUNDRY										
C	RESTROOMS										
D	SUITE 204										
C	CLOSET										
E	REAR EXIT DOOR										2,4

Remarks			
1. SEE DETAIL ON THIS SHEET FOR MAGNETIC CATCH INFO	2. INTERIOR OF DOOR AND FRAME TO BE PAINTED P-3	3. DOOR TO HAVE CARD KEY ACCESS AND MAG LOCK WITH PROXIMITY SENSOR RELEASE ON EGRESS SIDE	4. VERIFY EXISTING HARDWARE. PROVIDE NEW HARDWARE AS SCHEDULE IF EXISTING DOES NOT MEET CODE OR IS NOT EQUAL TO WHAT IS SCHEDULED
5. NEW STOREFRONT DOORS TO FIT INTO EXISTING FRAME OPENING.			

MANUFACTURER & MODEL #	STYLE	COLOR/ FINISH	REMARKS
A	NEW STOREFRONT DOORS TO MATCH		
A1	SINGLE SWING DOOR, COLUMBIA 3070 HERCULITE DOOR W/ SIDE LITE, CONTINUOUS TOP AND BOTTOM RAIL.	STYLE P, 3-1/2" SQUARE TOP AND BOTTOM RAILS.	CLEAR ANODIZED FINISH, 1/2" CLEAR TEMPERED GLASS. SEE FINISH LEGEND FOR SIGNAGE. SEE MAGNETIC CATCH DETAIL ON THIS SHEET.
B	SLIDING DOUBLE DOOR, COLUMBIA 760 MALL SLIDER W/ OFFSET PULLS	SLIDING DOOR AND TRACK - DOORS TO SLIDE ON CORRIDOR SIDE ONLY.	CLEAR ANODIZED FINISH, 1/4" CLEAR TEMPERED GLASS. DOOR STOP PLACED TO PREVENT SMASHED FINGERS WHILE OPENING DOORS FROM INSIDE. PLACEMENT AT TOP OF DOORS, 32" MIN CLEAR OPENING.
C	SINGLE DOOR, COLUMBIA 3070 MEDIUM STYLE DOOR WITH 10" BOTTOM RAIL.	STANDARD LOCKING FRAME	CLEAR ANODIZED FINISH, 1/4" CLEAR TEMPERED GLASS (2" X 7'). SWING DOOR WITH APPLIED FILM (VERIFY WITH MY SALON SUITE PM)
D	SOLID CORE WOOD DOORS		PAINTED P-3
E	EXISTING HOLLOW METAL DOOR		INSIDE PAINTED P-3

Windows and Glass				
STOREFRONT WINDOWS	MATCH BUILDING STANDARD OR EQUAL	ANODIZED ALUMINUM OR MATCH EXTG	FINISH TO MATCH EXISTING BUILDING	FIXED GLAZING UNLESS OTHERWISE NOTED ON PLANS

Hardware Groups						
PULL / LEVER	LOCKSET	HINGE	CLOSER	FINISH	REMARKS	
EXISTING / MATCH EXISTING	RE-KEY MATCH EXISTING CYLINDER	EXISTING / MATCH EXISTING	EXISTING / MATCH EXISTING		PUSH BUTTON ACCESS CONTROL TO RELEASE MAG LOCK IN CASE OF EMERGENCY. VERIFY MODEL NUMBER WITH MOUNTING LOCATION. VERIFY ELECTRICAL REQUIREMENTS WITH MANUFACTURER. SECURITY TRON 8552 OR EBBM MOTION SENSOR TO RELEASE MAG LOCK ABOVE DOOR.	
GROUP 1 STOREFRONT WITH WIRELESS HAND ACCESS	EXISTING / MATCH EXISTING	RE-KEY MATCH EXISTING CYLINDER	EXISTING / MATCH EXISTING			
GROUP 2 LAUNDRY	COLUMBIA COMMERCIAL BUILDING 9" BACK TO BACK PULLS	ADAMS RITE / SCLAGE CYL MS-1850S	COLUMBIA ROLLERS / GUIDES	NONE	260	
GROUP 3 LAUNDRY	COLUMBIA COMMERCIAL BUILDING 30" HORIZ. PUSH / 9" VERT. PULL	NO STRIKE / NO LOCKSET	DORMA FLOOR MTD PIVOT	DORMA EXPOSED U1500	260	
GROUP 4 RESTROOM PREVIEW	COLUMBIA COMMERCIAL BUILDING 30" HORIZ. PUSH / 9" VERT. PULL	ADAMS RITE / SCLAGE CYL MS-1850S	DORMA FLOOR MTD PIVOT	DORMA EXPOSED U1500	260	NO LOCKSET FOR MULTI STALL RESTROOMS
GROUP 5 CLOSET	LEVER HARDWARE	ADAMS RITE / SCLAGE CYL MS-1850S	MORTISE HINGES	NONE	260	
GROUP 6 REAR EXIT	PANIC BAR EXIT HARDWARE	ADAMS RITE / SCLAGE CYL MS-1850S	MORTISE HINGES	DORMA EXPOSED U1500	260	
GROUP 7 LOBBY	OR LAURENCE 12" VERTICAL PULL BOTH SIDES	SCHLAGE MS 480 MAG LOCK	DORMA FLOOR MTD PIVOT	DORMA CONC. OVERHEAD RTS-88	260	SINGLE ACTION PUSH BUTTON ACCESS CONTROL TO RELEASE MAG LOCK IN CASE OF EMERGENCY. VERIFY MODEL NUMBER WITH MOUNTING LOCATION. VERIFY ELECTRICAL REQUIREMENTS WITH MANUFACTURER. SECURITY TRON 8552 OR EBBM

Door Types	

### General Door Notes

A. DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES ON DOORS REQUIRED TO BE ACCESSIBLE SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE. ALL DOOR HANDLES WITH LATCH LOCKSETS SHALL BE ADA COMPLIANT LEVER TYPE UNITS.

B. ALL HARDWARE AND DOORS SHALL MEET THE STRICTEST REQUIREMENTS OF NFPA 101 (CURRENT EDITION) AND THE CURRENT EDITION OF THE BUILDING CODE.

C. VERIFY DOOR FINISH OPENING WITH DOOR MANUFACTURER PRIOR TO FRAMING.

D. ALL DOORS TO MASSAGE, ESTHETICIAN, RESTROOMS AND LAUNDRY ROOMS TO RECEIVE 3M APPLIED FILM-CRYSTAL GLASS FINISHES "DUSTED" (77256-314) UNLESS FILM TO THE INTERIOR SIDE.

E. PROVIDE FACTORY INSTALLED SMOKE GASKET IF FRAME IS IN A RATED PARTITION.

F. FINISHES FOR ALL HARDWARE SHALL BE 2ND FINISH.

G. DOORS SHALL BE ADJUSTED SO THAT THE OPENING EFFORT DOES NOT EXCEED 5 lbs. FOR INTERIOR DOORS, 8.5 LBS FOR EXTERIOR DOORS, AND 15 lbs. FOR REFORMED FIBER DOORS.

H. ALL DOOR LOCKS TO BE PROVIDED WITH INTERCHANGEABLE CORES. DO NOT REMOVE TO CHANGE.

J. ALL SLIDING DOOR STOPS TO BE TOP MOUNTED, INSIDE THE TOP TRACK (PROVIDED BY GLASSMAN).

K. ALL SWING DOORS MUST HAVE AUTOMATIC CLOSURE IN THE INTERIOR SIDE.

L. GC TO PROVIDE MASTER KEY AND EXTRA LOCKSET AT ALL SUITES.

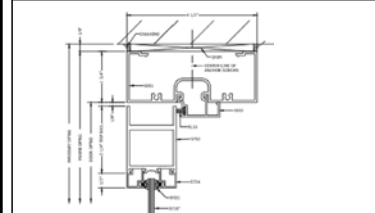
M. PROVIDE EGRESS SENSOR ABOVE ALL EXIT DOORS.

N. THE GC IS RESPONSIBLE FOR INSPECTING ALL DOOR FRAMES AT THE DRYWALL FINISHED OPENINGS. EACH OPENING AND EACH SIDE SHALL BE EVALUATED INDIVIDUALLY AND CORRECTED WHEN NECESSARY AS DIRECTED. GAP AT FRAME AND FINISHED DRYWALL 1/16" OR LESS SHALL REMAIN AS IS AND NOT CALKED. GAP AT FRAME AND FINISHED DRYWALL 1/16" TO 1/8" TO BE CALKED. CALK TO BE APPLIED TO JAMB AND HEAD TO REPAIR GAP.

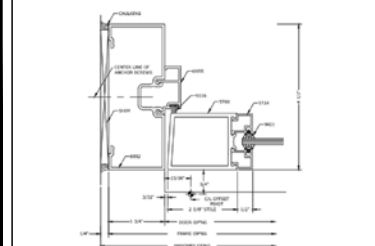
O. DOOR FRAME SEALANT: DOWN CORNING 760 SILICONE BUILDING SEALANT (GRAY).

P. SLIDING DOORS SHALL COMPLY WITH THE FOLLOWING CRITERIA:

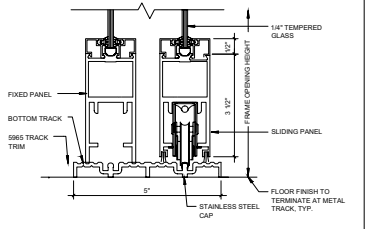
- THE FORCE PUSHING OR PULLING OPEN DOORS OTHER THAN FIRE DOORS SHALL BE AS FOLLOWS: 5.0 POUNDS MAXIMUM.
- THE DOOR IS READILY OPERABLE FROM EITHER SIDE WITHOUT SPECIAL KNOWLEDGE OR EFFORT.



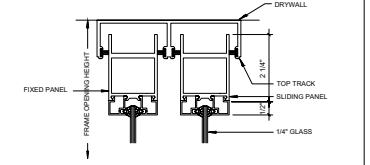
9 Door C Head Detail  
SCALE: NOT TO SCALE



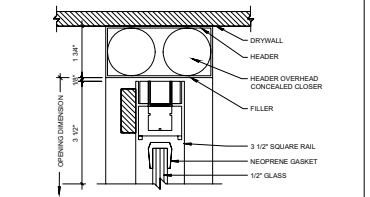
10 Door C Jamb Detail  
SCALE: NOT TO SCALE



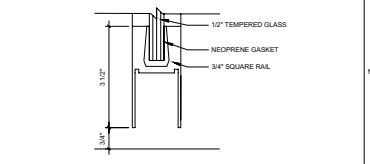
4 Sliding Door Threshold Detail  
SCALE: NOT TO SCALE



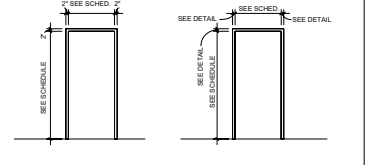
5 Sliding Door Head/Jamb Detail  
SCALE: NOT TO SCALE



6 Door A1 Head Detail  
SCALE: NOT TO SCALE



7 Door A1 Sill Detail  
SCALE: NOT TO SCALE

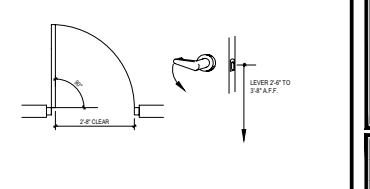


8 Frame Types  
SCALE: NOT TO SCALE

ENTRANCE DOOR  
ALL BUILDING ENTRANCES THAT ARE ACCESSIBLE TO AND USABLE BY PHYSICALLY HANDICAPPED PERSONS SHALL BE IDENTIFIED WITH AT LEAST ONE STANDARD SIGN AND WITH ADDITIONAL DIRECTIONS, SIGNS AS REQUIRED, TO BE VISIBLE TO BEING APPROACHING PEDESTRIANWAYS.

THRESHOLDS  
THRESHOLDS ARE REQUIRED TO BE NO MORE THAN 1/2 INCH HIGH, BEVEL OR SLOPE THE EXPOSED EDGE AT AN ANGLE NOT EXCEEDING 45 DEGREES SO THAT NO SINGLE VERTICAL CHANGE OF ELEVATION EXCEEDS 1/4" HIGH.

- EXIT DOORS, TOLLET ROOM AND CHANGING ROOM DOORS TO BE OPERABLE FROM INSIDE WITHOUT SPECIAL KNOWLEDGE, FORCE OR NEED OF KEY.
- SEE SPECIFICATION SHEET FOR RESPONSIBILITIES.
- ALL HARDWARE TO LEVER TYPE.



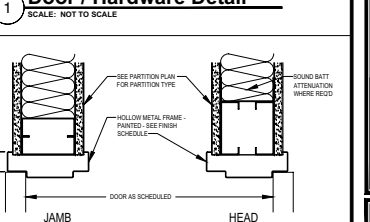
1 Door / Hardware Detail  
SCALE: NOT TO SCALE

HARDWARE  
HAND-ACTIVATED DOOR OPENING HARDWARE IS REQUIRED TO BE CENTERED BETWEEN 33 AND 44 INCHES HIGH. LATCHING AND LOCKING DEVICES THAT ARE HAND ACTIVATED AND WHICH ARE A PART OF TRAVEL HAVE TO BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, BY PANE SHARP PUSH-PULL ACTUATING BARS OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT NECESSARY THE ABILITY TO GRASP THE OPENING HARDWARE. LOCKED EXIT DOORS ARE REQUIRED TO OPERATE AS DESCRIBED ABOVE IN THE DIRECTION OF EGRESS.

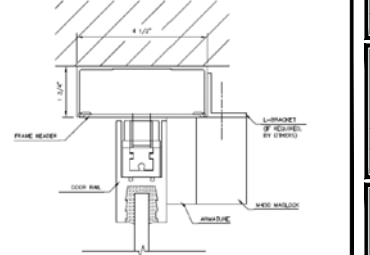
CLOSERS  
THE MAXIMUM EFFORT TO OPERATE DOORS CANNOT EXCEED 8.5 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS. REQUIRED FOR DOORS MAY BE REQUIRED UP TO 3 POUNDS PRESSURE. THE PRESSURE IS TO BE MEASURED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE REQUIREMENTS IF A DOOR HAS A CLOSER, THEN THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3 INCHES (75 mm) FROM THE LATCH, MEASURED TO THE LEADING EDGE OF THE DOOR.

DOORS  
ENTRANCES  
ALL PRIMARY ENTRANCES TO BUILDINGS AND FACILITIES ARE REQUIRED TO BE MADE ACCESSIBLE A PRIMARY ENTRANCE IS DEFINED AS... ANY ENTRANCE TO A FACILITY WHICH HAS A SUBSTANTIAL FLOW OF PEDESTRIANS TO ANY SPECIFIC MAJOR FUNCTION OF THE FACILITY. RELEVANT DOORS CANNOT BE USED AS A REQUIRED ENTRANCE FOR THE HANDICAPPED. NECESSARY DOORWAYS ARE REQUIRED TO BE ANCHORED TO PREVENT INTERFERENCE WITH WHEELCHAIR TRAFFIC.

DOOR WIDTHS AND HEIGHTS  
REQUIRED EXIT DOORWAYS ARE REQUIRED TO HAVE A CLEAR OPENING NOT LESS THAN 32 INCHES WIDE. FOR HINGED DOORS, THE OPENING IS MEASURED WITH THE DOOR AT A 90 DEGREE ANGLE FROM ITS CLOSED POSITION. AT LEAST ONE OF A PAIR OF DOORS, INCLUDING AUTOMATIC DOORS, HAS TO PROVIDE THE 32 INCH CLEAR OPENING. DOOR HEIGHTS ARE REQUIRED TO BE A MINIMUM OF 80 INCHES.



2 Door Jamb / Head Detail  
SCALE: NOT TO SCALE



3 Magnetic Door Lock Detail  
SCALE: NOT TO SCALE



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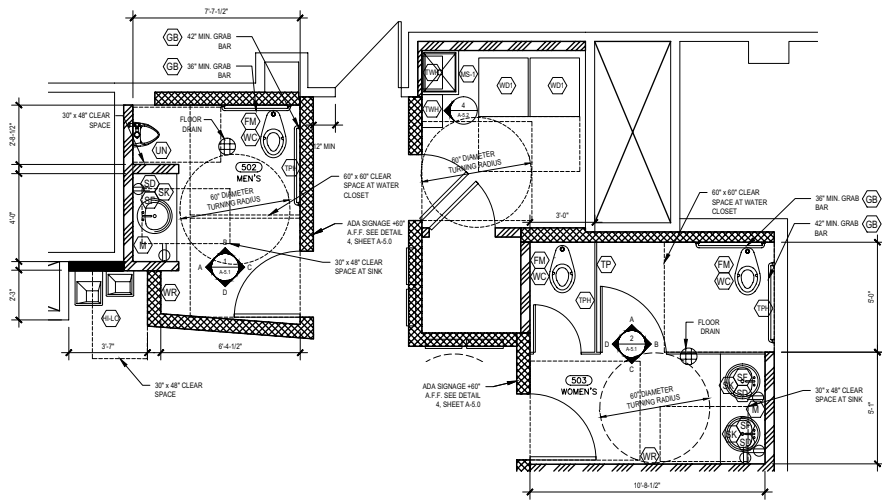
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Revisions  
1  
2

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**A-4.1**  
Schedules



1 Enlarged Restroom Plan  
SCALE: 3/8" = 1'-0"

Toilet Room Equipment / Accessories Schedule					
MARK	DESCRIPTION	MOUNTING	MFG.	MFG. NO.	REMARKS
FM	SENSOR FLUSHMETER	WALL	SLOAN GS OPTIMA PLUS	B111	
GB	GRAB BAR	WALL	-	-	
FLD	14.0L DRINKING FOUNTAIN	WALL	ELKAY	L23TLJC	
L	PIPE INSULATION	SURFACE	TRUESDORF "HAND-LAY GUARD" WHITE VINYL PIPE INSULATION EQUAL	---	
M	MIRROR - SET WITH TILE SURROUND WITH SATIN ANODIZED ALUMINUM SHOULDER SCHEME ABL, A70, A85 DEPENDING ON TILE THICKNESS AND ADHESIVE BED	WALL	VERIFY BY MY SALON SUITE PROJECT MANAGER	---	3'-0" RECESS (TO ALIGN WITH TOP OF DOORS) TENDRY TO MIRROR CENTER. ALLOW WITH LEADING EDGE OF THE STRIP WITH THE SURFACE OF THE MIRROR. APPLY CLEAR SILICONE SEALANT COAT AROUND PERIMETER OF MIRROR.
MS	UTLITUB	ON LEGS	MUSTEE	19W	STRUCTURAL THERMOPLASTIC UTILITY TUB WHITE WITH 4" T&S BRASS WORKS BRASS FACET CHROME WHEEL #S 141
SD	AUTOMATIC SOAP HAND SYSTEM	COUNTER	BOBRICK	B04	CHROME PLUG INTO WALL OUTLET
SK	LAV	COUNTER	KOHLER	BLACK PEARL	SOLID SURFACE (W/SH RIBS) WITH KOHLER K-239-0 UNDER MOUNT BRK
TP	TOILET PARTITION	OVERHEAD BRACED	SCRANTON PRODUCTS	HNY HEADERS	SOLID BLACK ORANGE PEEK FINISH COAT FINISH WITH BARBER BEACH STALL
PH	TOILET PAPER HOLDER DOUBLE ROLL	SURFACE	BOBRICK	B-270	STAINLESS STEEL SATIN FINISH
WH	TANKLESS WATER HEATER	SURFACE	NAUEN	NPE-20A	
UN	URINAL	WALL	KOHLER	K-5216-ET-0	
WC	VITREOUS CHINA WATER CLOSET (WC)	FLOOR	KOHLER	K-4405-0	SEE PLUMBING DRAWINGS FOR MORE INFO. SEAT & TRIM 1.6 GPF. WITH SUPPLY, STOP AND WHITE OPEN FRONT SEAL (ADA)
WD	STACKABLE WASHER/DRYER	FLOOR	ALLIANCE LAUNDRY SYSTEMS	STBCASP1137W01	
WP	SEMI RECESSED PAPER TOWEL DISPENSER AND WASTE RECEPTACLE	WALL (SEMI-RECESSED)	BRADLEY	234	WITH WASTE RECEPTACLE LIVING
SF	SENSOR FACET	COUNTER	SLOAN OPTIMA SYSTEMS	BF-400	BATTERY POWERED HAND WASHING FACET

General Notes

- A. SEE ADDITIONAL RESTROOM DETAILS ON SHEET A-1.3.
- B. PROVIDE ONE OUTLET BELOW COUNTER AT LAVATORY FOR SOAP DISPENSER AND FACET AND ONE OUTLET ABOVE COUNTER.



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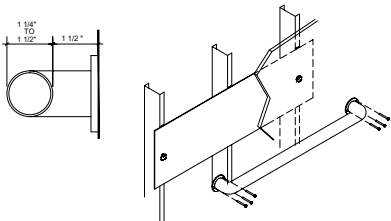
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**A-5.0**  
Restroom Plan & Details



ANCHOR PLATES ARE 12 GAUGE STEEL AND 6" (LENGTH VARIES) FINISHED WITH STAINLESS STEEL. MACHINE SCREWS TO ACCOMMODATE WALL FINISHES TO 1 1/2" THICK. ANCHOR PLATES SECURED TO STUDS BY WELDING, WIRING OR SELF-THREADING SCREWS.

**GRAB BARS**  
LOCATE GRAB BARS ON EACH SIDE, OR ONE SIDE AND THE BACK OF THE WATER CLOSET. 33 INCHES ABOVE AND PARALLEL TO THE FLOOR. GRAB BARS AT THE SIDE ARE TO BE AT LEAST 42 INCHES LONG WITH THE FRONT END POSITIONED 12 INCHES IN FRONT OF THE WATER CLOSET. GRAB BARS AT THE BACK CAN NOT BE LESS THAN 36 INCHES LONG.

THE DIAMETER OR WIDTH OF THE GRIPPING SURFACE IS REQUIRED TO BE 1 1/4 TO 1 1/2 INCHES, OR THE SHAPE IS TO PROVIDE AN EQUIVALENT GRIPPING SURFACE. IF GRAB BARS ARE MOUNTED ADJACENT TO A WALL, THE SPACE BETWEEN THE WALL AND THE GRAB BARS IS TO BE 1 TO 2 INCHES.

GRAB BARS SHALL NOT ROTATE WITH THEIR FITTINGS.

GRAB BARS AND ANY SURFACE ADJACENT TO THEM CAN NOT HAVE ANY SHARP OR ABRASIVE ELEMENTS. EDGES ARE TO HAVE A MINIMUM RADIUS OF 1/4"

BENDING STRESS IN A GRAB BAR OR SEAT INDUCED BY THE MAX. BENDING MOMENT FROM THE APPLICATION OF A 250 LB. POINT LOAD SHALL BE LESS THAN THE ALLOWABLE STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT.

SHEAR STRESS INDUCED IN A GRAB BAR BY THE APPLICATION OF 250 LBF POINT LOAD SHALL BE LESS THAN THE ALLOWABLE SHEAR STRESS FOR THE MOUNTING BRACKET OR OTHER SUPPORT IS CONSIDERED TO BE FULLY RESTRAINED, THEN CORRECT AND TORSIONAL SHEAR STRESSES SHALL NOT EXCEED THE ALLOWABLE BEAR STRESS.

SHEAR FORCE INDUCED IN FASTENER OR MOUNTING DEVICES FROM THE APPLICATION OF A 250 LB. POINT LOAD SHALL BE LESS THAN THE ALLOWABLE LATERAL LOAD OF EITHER FASTENER OR MOUNTING DEVICE OR THE SUPPORTING STRUCTURE, WHICHEVER HAS THE SMALLER ALLOWABLE LOAD.

TENSILE FORCE INDUCED IN A FASTENER BY A DIRECT TENSION FORCE OF A 250 LB. POINT LOAD PLUS THE MAX. MOMENT FROM THE APPLICATION OF A 250 LB. POINT LOAD SHALL BE LESS THAN THE ALLOWABLE WITHDRAWAL LOAD BETWEEN THE FASTENER AND SUPPORTING STRUCTURE.

GRAB BAR AND ANY WALL OR OTHER SURFACE ADJACENT TO IT SHALL BE FREE OF ANY SHARP OR ABRASIVE ELEMENTS. EDGES SHALL HAVE A MINIMUM RADIUS OF 1/4"

5 Grab Bar Detail  
SCALE: NOT TO SCALE

ACCESSIBILITY SIGN

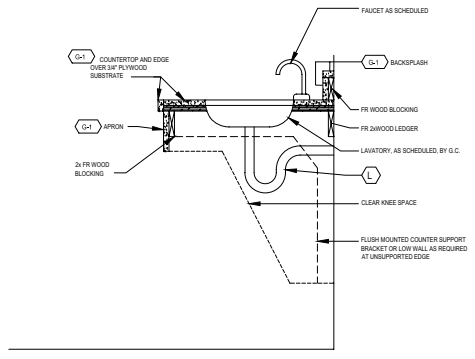
ALL SIGNAGE SHALL CONFORM WITH ADA ACCESSIBILITY GUIDELINES:

- LETTERS AND NUMERALS MUST BE RAISED 1/32" FROM SIGN SURFACE.
- CHARACTER HEIGHT MUST BE AT LEAST 5/8" BUT NOT EXCEED 2".
- TYPE STYLE FOR LETTERS AND NUMERALS SHALL BE SANS SERIF OR SIMPLE SERIF.
- WORDS AND NUMERALS MUST BE CONVERTED INTO GRADE 2 BRaille, AND BE APPLIED TO SIGN.
- PICTOGRAMS SHALL BE ACCOMPANIED BY THE EQUIVALENT VERBAL DESCRIPTION PLACED DIRECTLY BELOW PICTOGRAM.

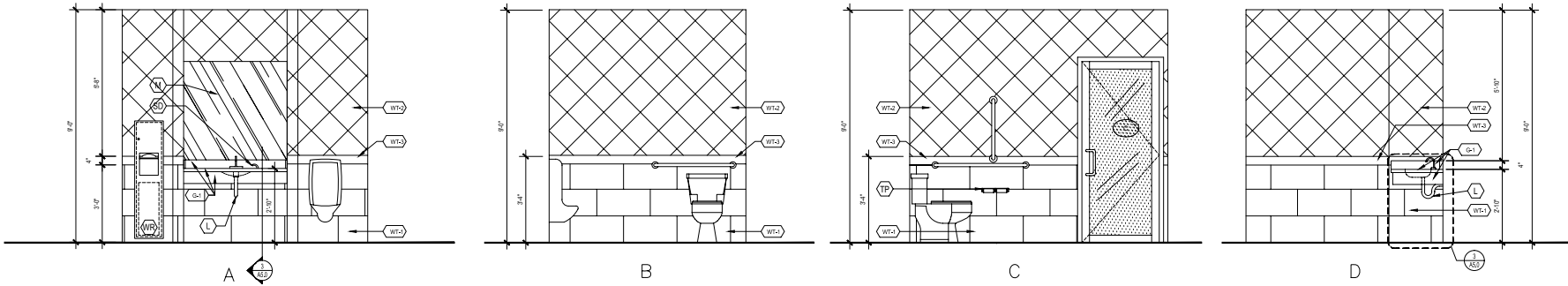
7/8" WITH STAINLESS STEEL STANDOFFS FURNISHED AND INSTALLED BY GC. SEE A1.3 RESPONSIBILITY MATRIX.

48" MIN. TO BOTTOM OF BRILLE  
67" MAX. TO BOTTOM OF HAND-SET  
TACTILE CHARACTER

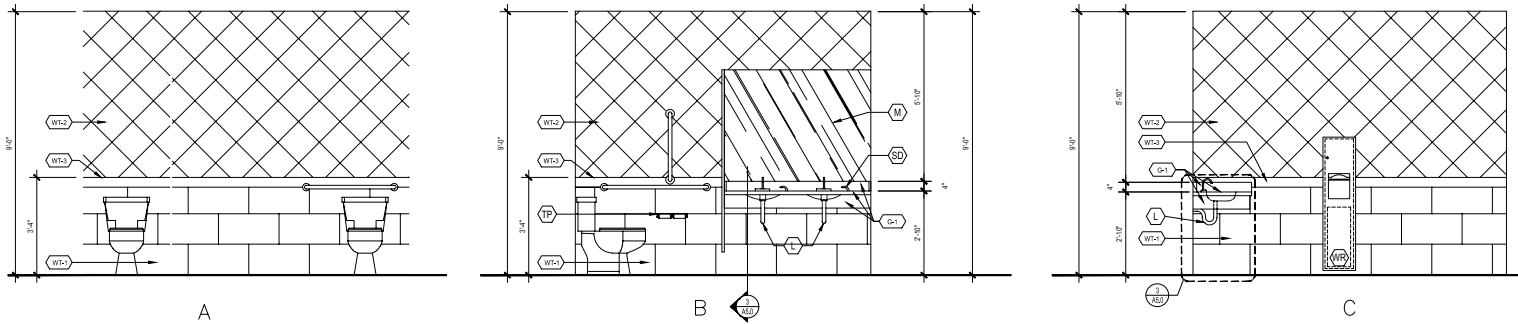
4 Toilet Room Signage Detail  
SCALE: NOT TO SCALE



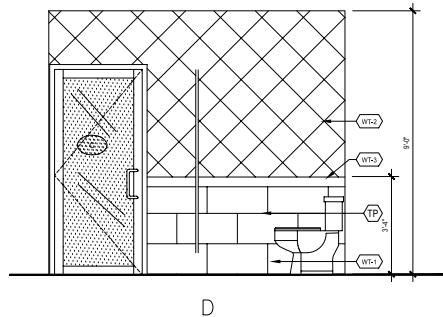
3 Lavatory Countertop Detail  
SCALE: 1-1/2" = 1'-0"



**1 Men's Restroom Elevations**  
SCALE: 1/2" = 1'-0"



**2 Women's Restroom Elevations**  
SCALE: 1/2" = 1'-0"



**General Notes**

- A. SEE ADDITIONAL RESTROOM DETAILS ON SHEET A-1.3 & D-3.
- B. SEE TOILET ROOM EQUIPMENT / ACCESSORIES SCHEDULE ON SHEET A-6.0.



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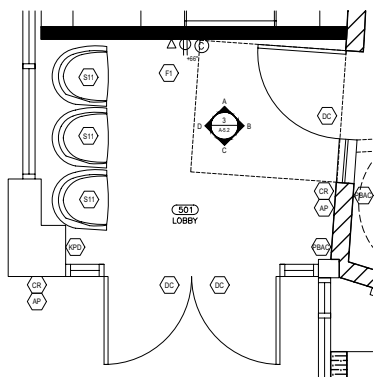
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**A-5.1**

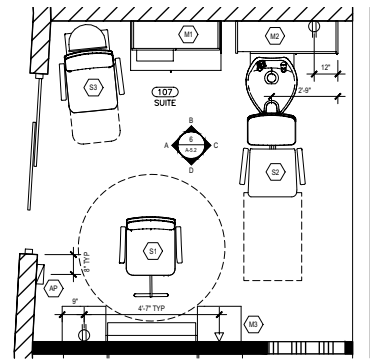
Restroom Elevations





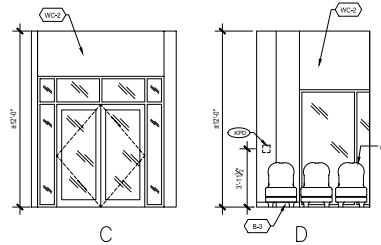
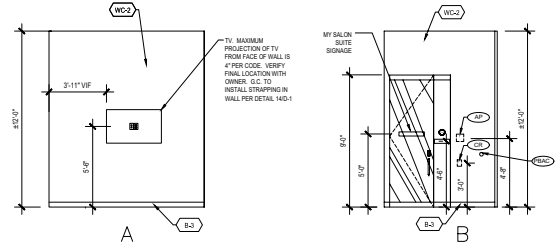
Lobby Plan Schedule	
(T1)	WALL MOUNTED TV, BY CONTRACTOR
(FE)	FIRE EXTINGUISHER CABINET, SEE DETAIL
(S1)	LOBBY CHAIR, BY OWNER
(AP)	APHONE SYSTEM (3" AFF)
(CR)	CARD READER (3" AFF)
(PB)	PUSHBUTTON ACCESS CONTROL
(SK)	SECURITY SYSTEM KEYPAD
(DC)	DOOR CONTACT MAGNETIC LOCK

**1 Enlarged Lobby Plan**  
SCALE: 1/2" = 1'-0"

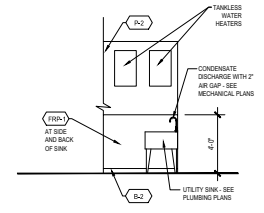


Salon Suite Schedule	
(M)	COLOR/DRESSING CABINET - SINK BASE AND UPPER
(MS)	SHAMPOO CABINET - SINK BASE AND UPPER
(MS)	STYLING STATION WITH MIRROR
(S)	STYLING CHAIR
(SC)	SHAMPOO CHAIR
(SC)	DRYER CHAIR
(AP)	APHONE SYSTEM

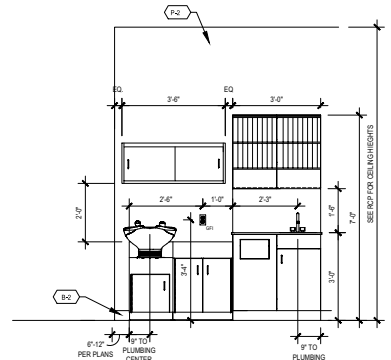
**2 Typical Enlarged Suite Plan**  
SCALE: 1/2" = 1'-0"



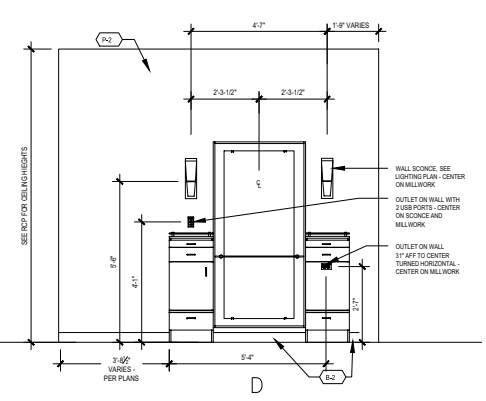
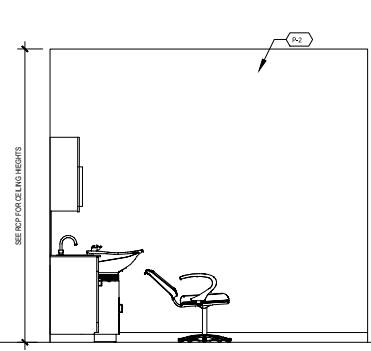
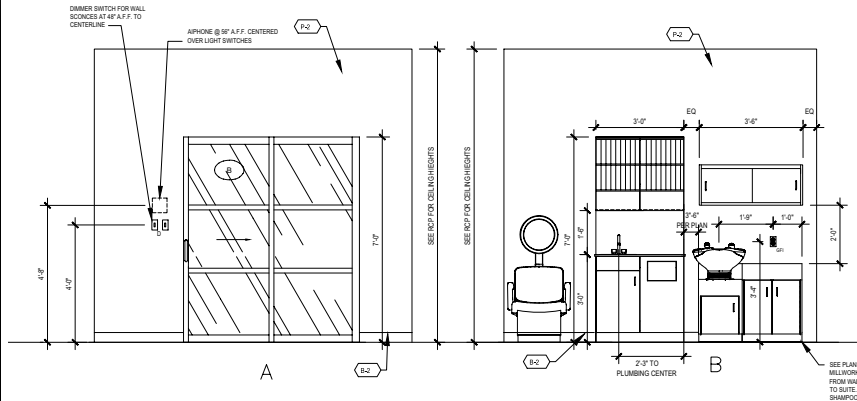
**3 Lobby Interior Elevations**  
SCALE: 1/4" = 1'-0"



**4 Utility Sink Elevation**  
SCALE: 1/4" = 1'-0"



**5 Right Handed Shampoo Bowl and Color Station**  
SCALE: 1/2" = 1'-0"



**6 Typical Suite Interior Elevations**  
SCALE: 1/2" = 1'-0"



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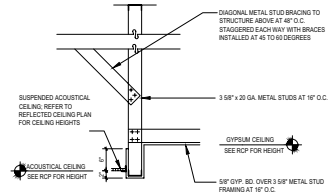
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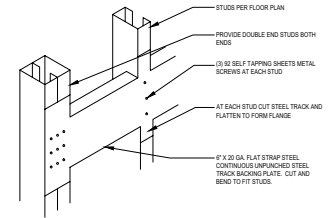
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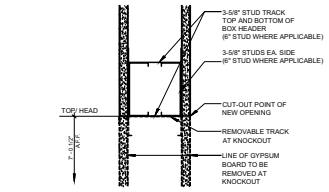
**A-5.2**  
Interior Elevations



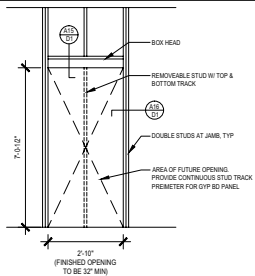
**A13 Furdown Detail**  
SCALE: NOT TO SCALE



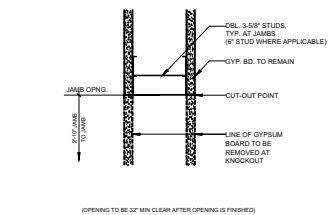
**A14 Wall Backing Detail**  
SCALE: NOT TO SCALE



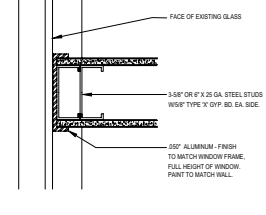
**A15 Head Detail - Pass Thru**  
SCALE: NOT TO SCALE



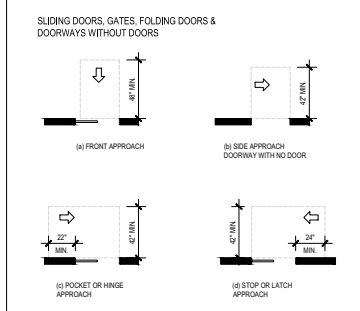
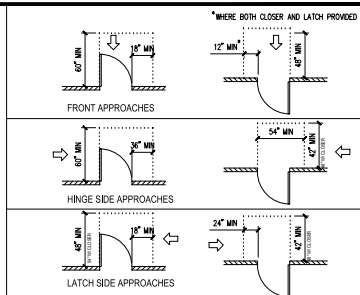
**A20 Pass Thru Elevation**  
SCALE: NOT TO SCALE



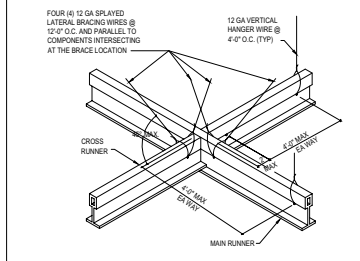
**A16 Jamb Detail - Pass Thru**  
SCALE: NOT TO SCALE



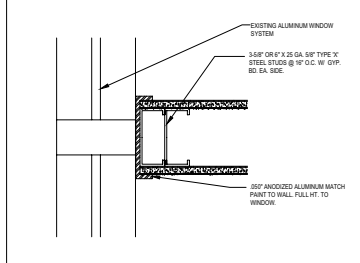
**A12 Wall at Glazing Detail**  
SCALE: NOT TO SCALE



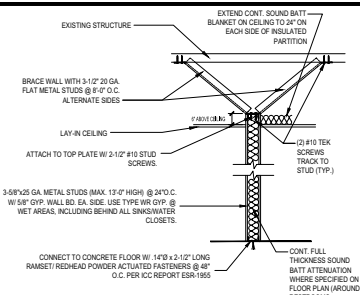
**A5 Clearances at Doors**  
SCALE: NOT TO SCALE



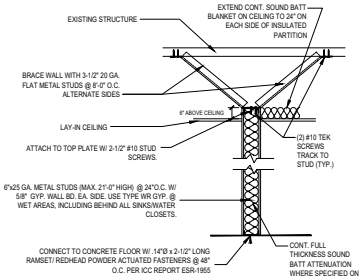
**A7 Ceiling Grid Bracing**  
SCALE: NOT TO SCALE



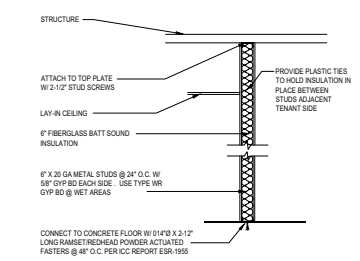
**A8 Wall at Mullion Detail**  
SCALE: NOT TO SCALE



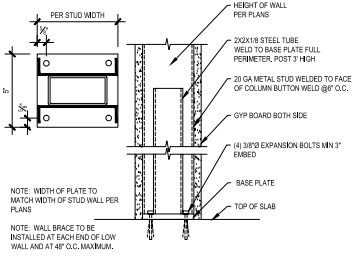
**A1 Interior Wall - Type A**  
SCALE: NOT TO SCALE ICB0 REPORT #4782



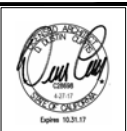
**A2 Interior Wall - Type B**  
SCALE: NOT TO SCALE ICB0 REPORT #4782



**A3 Tenant Demising Wall - Type C**  
SCALE: NOT TO SCALE



**A4 Low Wall Brace**  
SCALE: 3\"/>



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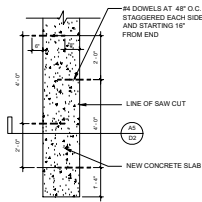
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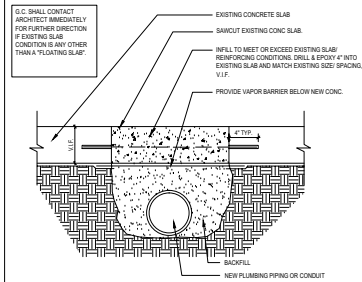
Revisions  
1  
2  
3  
4  
5

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SUITE R201  
NEWPORT BEACH, CA  
92663  
04.14.17  
CA-369

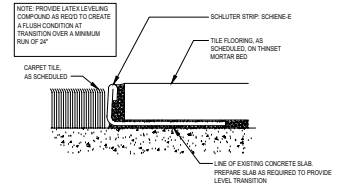
**D-1**  
Architectural Details



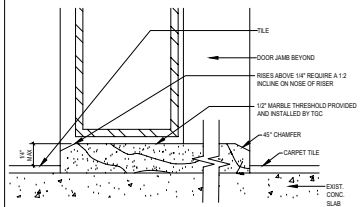
**A9 Conc Slab Patch**  
SCALE: NOT TO SCALE



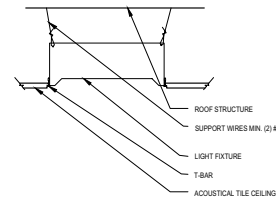
**A5 Sawcut/Pourback Detail**  
SCALE: NOT TO SCALE



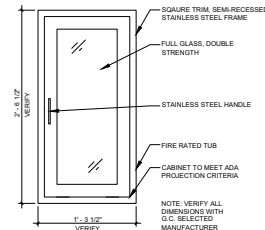
**A1 Tile to Carpet Detail**  
SCALE: NOT TO SCALE



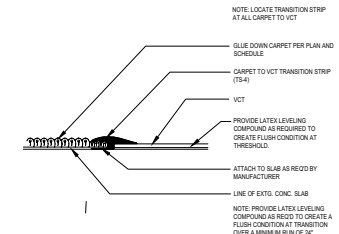
**A6 Marble Threshold Detail**  
SCALE: NOT TO SCALE



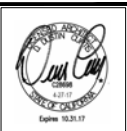
**A7 Light Fixture Support**  
SCALE: NOT TO SCALE



**A8 Fire Extinguisher Cabinet Detail**  
SCALE: NOT TO SCALE



**A4 Carpet to VCT Detail**  
SCALE: NOT TO SCALE



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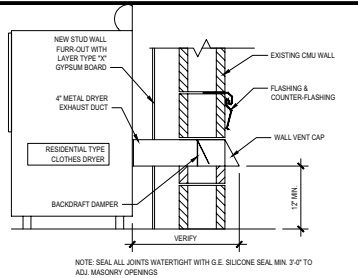
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NEWPORT BEACH, CA

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jemberson@mysalonsuite.com  
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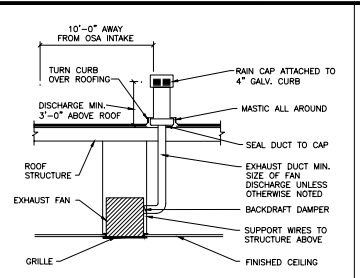
Revisions


**MY SALON**  
MSS #5043  
200 WEST COAST HWY  
SUITE R201  
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92663  
04.14.17  
CA-369

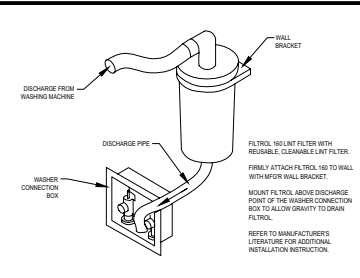
**D-2**  
Architectural Details



**M6 Dryer Vent & Cap**  
SCALE: NOT TO SCALE



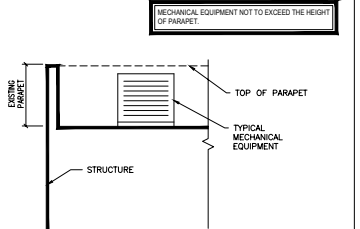
**M1 Exhaust Fan Mounting**  
SCALE: NOT TO SCALE



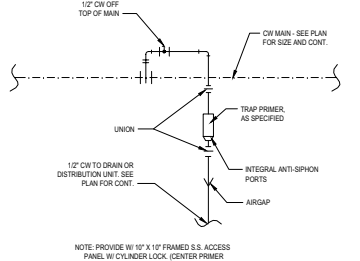
**P9 Washer Lint Filter**  
SCALE: NOT TO SCALE

**General Notes**

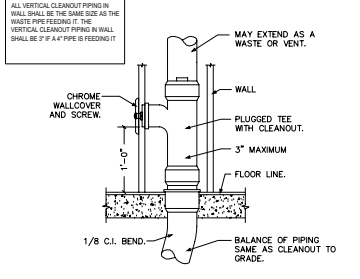
1. MEP PLANS / DETAILS SHOULD BE USED IF IN CONFLICT WITH THESE DRAWINGS



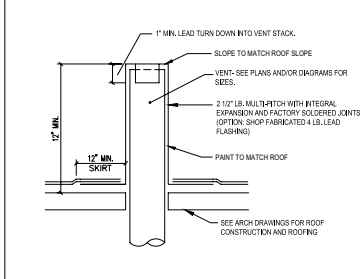
**M3 Mechanical Screening**  
SCALE: NOT TO SCALE



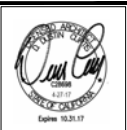
**P11 Trap Primer**  
SCALE: NOT TO SCALE



**P12 Wall Cleanout (WCO)**  
SCALE: NOT TO SCALE



**P8 Vent Flashing**  
SCALE: NOT TO SCALE



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Revisions


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200 WEST COAST HWY  
SUITE R201  
NEWPORT BEACH, CA  
92663  
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CA-369

**D-3**  
Mechanical / Plumbing Details



STATE OF CALIFORNIA  
INDOOR LIGHTING - LIGHTING CONTROLS  
CALIFORNIA ENERGY COMMISSION  
CERTIFICATE OF COMPLIANCE  
Indoor Lighting - Lighting Controls  
My Station 11  
4/24/2017

Documentation Author's Declaration Statement  
I certify that this Certificate of Compliance documentation is accurate and complete.  
Documentation Author Signature: David Hensel, PE  
Signature Date: 4/24/2017  
Title: Tico24.com  
Address: P.O. Box 1442  
City: San Marcos, CA 92079  
Phone: (819) 665-3259

Responsible Person's Declaration Statement  
I certify the following under penalty of perjury, under the laws of the State of California:  
1. The information provided on this Certificate of Compliance is true and correct.  
2. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer).  
3. The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.  
4. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.  
5. I will ensure that a completed signed copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections. I understand that a completed signed copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy.

Contractor: Dustin Curtis  
Company: ONE7 Architecture  
Address: 8801 N. Central Ave., Suite 101  
City: Phoenix, AZ 85020  
Phone: 602-266-2712

STATE OF CALIFORNIA  
INDOOR LIGHTING POWER ALLOWANCE  
CALIFORNIA ENERGY COMMISSION  
CERTIFICATE OF COMPLIANCE  
Indoor Lighting - Indoor Lighting Power Allowance  
My Station 11  
4/24/2017

A separate page must be filled out for Conditioned and Unconditioned Spaces. This page is only for:  
a. CONDITIONED spaces  
b. UNCONDITIONED spaces

**C-1 AREA CATEGORY METHOD ADDITIONAL LIGHTING WATTS ALLOWANCE (from Table 140.6-C Footnotes)**

Primary Function	Area Category	Additional Watts Allowed	Wattage Allowance (W/ft²)	Description and Quantity of Special Equipment Types in each Primary Function Area	Total Watts	Watts per ft²

TOTAL: Enter here TOTAL AREA CATEGORY METHOD ADDITIONAL ALLOWANCES - Watts  
1. Use linear feet only for additional allowance for white board or chalk board. All other additional Area Category allowances shall convert per square foot.  
2. Additional allowances are available only when allowed according to the footnotes on bottom of Table 140.6-C, which include: Specialized task work, Drawing and design, Commercial and industrial work, Per laser floor of white board or chalk board, Accent, display and feature lighting, and Videoconferencing studio lights.  
3. Maximum classification and wattage shall be determined in accordance with §15.103(f) of the Standards.

Contractor: Dustin Curtis  
Company: ONE7 Architecture  
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City: Phoenix, AZ 85020  
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STATE OF CALIFORNIA  
MECHANICAL SYSTEMS  
CALIFORNIA ENERGY COMMISSION  
CERTIFICATE OF COMPLIANCE  
Mechanical Systems  
My Station 11  
4/24/2017

**B. MECHANICAL HVAC ACCEPTANCE FORMS (check box for required compliance documents)**  
Design: This compliance document is to be used by the designer and attached to the plans. Listed below are all the acceptance tests for HVAC systems. The designer is required to check the applicable boxes for all acceptance tests that apply and list all equipment that requires an acceptance test. All equipment of the same type that requires a test, list the equipment description and the number of units.  
Installing Contractor: The contractor who installed the equipment is responsible to either conduct the acceptance test themselves or have a qualified entity run the test for them. If more than one person has responsibility for the acceptance testing, each person that signs and submits the Certificate of Acceptance applicable to the portion of the construction or installation for which they are responsible.  
Performance Agency: For the MECH-MCH-01 compliance document and is not to be accepted by the building department within the correct boxes are checked. **Before acceptance, a signed and stamped approval process system must be provided to ensure proper operation.**

Test Description	MCH-1A	MCH-1A.1	MCH-1A.2	MCH-1A.3	MCH-1A.4	MCH-1A.5	MCH-1A.6	MCH-1A.7	MCH-1A.8	MCH-1A.9	MCH-1A.10	MCH-1A.11
Equipment requiring testing or verification												
ERV-1												
ERV-2												
ERV-3												
CU-1 & FCV												

STATE OF CALIFORNIA  
INDOOR LIGHTING POWER ALLOWANCE  
CALIFORNIA ENERGY COMMISSION  
CERTIFICATE OF COMPLIANCE  
Indoor Lighting - Indoor Lighting Power Allowance  
My Station 11  
4/24/2017

A separate page must be filled out for Conditioned and Unconditioned Spaces. This page is only for:  
a. CONDITIONED spaces  
b. UNCONDITIONED spaces

**D. SUMMARY TOTAL OF LIGHTING POWER ALLOWANCES**

Area Category Method	Watts
Using Complete Building Method for compliance, use only the total in column (a) as total allowed building watts.	0
If using Area Category Method, Tolerant Method, or a combination of Area Category and Tolerant Method for compliance, use only the total in column (b) as the total allowed building watts.	6,200
<b>TOTAL ALLOWED BUILDING WATTS. Enter number into correct cell on NRCC-LI-03, Page 2, Row 1</b>	6,200

**E. COMPLETE BUILDING METHOD LIGHTING POWER ALLOWANCE**

Area Category	Watts per ft²	Area (ft²)	Allowed Watts
TYPE OF BUILDING FROM §140.6 TABLE 140.6-C			
<b>TOTAL WATTS. Enter Total Watts into section A, row 1 (Above on this page)</b>			

**C-1 AREA CATEGORY METHOD TOTAL LIGHTING POWER ALLOWANCES**

Watts	Total from section C-1
6,200	6,200
<b>TOTAL WATTS. Enter Total Watts into section A, row 2 (Above on this page)</b>	6,200

For Alterations Only - Reduced lighting power option (Total Allowed Watts x 0.8). Enter this value into section A, row 2 if using this option.

STATE OF CALIFORNIA  
INDOOR LIGHTING POWER ALLOWANCE  
CALIFORNIA ENERGY COMMISSION  
CERTIFICATE OF COMPLIANCE  
Indoor Lighting - Indoor Lighting Power Allowance  
My Station 11  
4/24/2017

A separate page must be filled out for Conditioned and Unconditioned Spaces. This page is only for:  
a. CONDITIONED spaces  
b. UNCONDITIONED spaces

**C-2 AREA CATEGORY METHOD LIGHTING POWER ALLOWANCE**

Area Category	Watts per ft²	Area (ft²)	Allowed Watts
Baton Suites	1.70	406	689
Baton Suites	1.70	2,375	4,038
Baton Suites	1.70	460	782
Restrooms	0.60	194	116
Corridor	0.60	716	430
Lobby	0.95	90	86
Laundry	0.70	87	61
<b>TOTAL</b>			4,327

Enter sum total Area Category allowed watts into section C-1 of NRCC-LI-03-E (this compliance document)

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Company: ONE7 Architecture  
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City: Phoenix, AZ 85020  
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STATE OF CALIFORNIA  
MECHANICAL SYSTEMS  
CALIFORNIA ENERGY COMMISSION  
CERTIFICATE OF COMPLIANCE  
Mechanical Systems  
My Station 11  
4/24/2017

**A. MECHANICAL COMPLIANCE DOCUMENTS & WORKSHEETS (check box if worksheet is included)**  
For amended instructions on the use of this and of Energy Efficiency Standards compliance forms, refer to the 2016 Nonresidential Manual. Note: The Performance Agency may require all forms to be incorporated into the building plans.

Form	Required	Worksheet Included
MECH-MCH-01 (Part 1 of 3)		
MECH-MCH-01 (Part 2 of 3)		
MECH-MCH-01 (Part 3 of 3)		
MECH-MCH-02 (Part 1 of 2)		
MECH-MCH-02 (Part 2 of 2)		
MECH-MCH-03		
MECH-MCH-07 (Part 1 of 2)		
MECH-MCH-07 (Part 2 of 2)		

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STATE OF CALIFORNIA  
MECHANICAL SYSTEMS  
CALIFORNIA ENERGY COMMISSION  
CERTIFICATE OF COMPLIANCE  
Mechanical Systems  
My Station 11  
4/24/2017

**C. MECHANICAL HVAC ACCEPTANCE FORMS (check box for required compliance documents)**  
Design: This compliance document is to be used by the designer and attached to the plans. Listed below are all the acceptance tests for HVAC systems. The designer is required to check the applicable boxes for all acceptance tests that apply and list all equipment that requires an acceptance test. All equipment of the same type that requires a test, list the equipment description and the number of units.  
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Performance Agency: For the MECH-MCH-01 compliance document and is not to be accepted by the building department within the correct boxes are checked. **Before acceptance, a signed and stamped approval process system must be provided to ensure proper operation.**

Test Description	MCH-1A	MCH-1A.1	MCH-1A.2	MCH-1A.3	MCH-1A.4	MCH-1A.5	MCH-1A.6	MCH-1A.7	MCH-1A.8	MCH-1A.9	MCH-1A.10	MCH-1A.11
Equipment requiring testing or verification												
ERV-1												
ERV-2												
ERV-3												
CU-1 & FCV												



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Revisions

04.14.17  
CA-369

T-2

STATE OF CALIFORNIA  
HVAC DRY & WET SYSTEM REQUIREMENTS

CALIFORNIA ENERGY COMMISSION  
CERTIFICATE OF COMPLIANCE  
HVAC Dry & Wet System Requirements  
My Salon TI  
Date Issued: 4/24/2017  
Page 1 of 3

Table with columns: Equipment Tag and System Description, Dry System, ERV-1, ERV-2, ERV-3. Includes sections for MANDATORY MEASURES, PRESCRIPTIVE MEASURES, and Notes.

CA Building Energy Efficiency Standards - 2016 Nonresidential Compliance  
January 2016

STATE OF CALIFORNIA  
HVAC DRY & WET SYSTEM REQUIREMENTS

CALIFORNIA ENERGY COMMISSION  
CERTIFICATE OF COMPLIANCE  
HVAC Dry & Wet System Requirements  
My Salon TI  
Date Issued: 4/24/2017  
Page 1 of 3

Table with columns: Equipment Tag and System Description, Dry System, C3-1 & FC3. Includes sections for MANDATORY MEASURES, PRESCRIPTIVE MEASURES, and Notes.

CA Building Energy Efficiency Standards - 2016 Nonresidential Compliance  
January 2016

STATE OF CALIFORNIA  
HVAC DRY & WET SYSTEM REQUIREMENTS

CALIFORNIA ENERGY COMMISSION  
CERTIFICATE OF COMPLIANCE  
HVAC Dry & Wet System Requirements  
My Salon TI  
Date Issued: 4/24/2017  
Page 1 of 3

Table with columns: Equipment Tag and System Description, Wet System. Includes sections for MANDATORY MEASURES, PRESCRIPTIVE MEASURES, and Notes.

CA Building Energy Efficiency Standards - 2016 Nonresidential Compliance  
January 2016

STATE OF CALIFORNIA  
HVAC SYSTEM REQUIREMENTS

CALIFORNIA ENERGY COMMISSION  
CERTIFICATE OF COMPLIANCE  
HVAC Wet System Requirements  
My Salon TI  
Date Issued: 4/24/2017  
Page 1 of 3

Table with columns: Equipment Tag and System Description, Wet System. Includes sections for MANDATORY MEASURES, PRESCRIPTIVE MEASURES, and Notes.

CA Building Energy Efficiency Standards - 2016 Nonresidential Compliance  
January 2016



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Revisions

MY SALON SUIITE  
MSS #5043  
200 WEST COAST HWY  
SUITE R201  
NEWPORT BEACH, CA  
92663

04.14.17  
CA-1369

T-3

Title 24

STATE OF CALIFORNIA  
**REQUIRED ACCEPTANCE TESTS**  
 (SEE TITLE) (REQUIRED) (REVISED 1/13)  
 CERTIFICATE OF COMPLIANCE  
 Required Acceptance Tests  
 Project Name: My Salon TT  
 Job Number: 4242017  
 CALIFORNIA ENERGY COMMISSION  
 NRECC-MECH-04-E  
 (Page 2 of 2)

**A. MECHANICAL COMPLIANCE FORMS & WORKSHEETS**  
 (Indicate if worksheet is included)  
 For detailed instructions on the use of this and all Energy Standards compliance documents, refer to the 2016 Nonresidential Manual.  
 Note: The Enforcement Agency may require all compliance documents to be incorporated into the building plans. The NRECC-MECH-04-E and NRECC-MECH-05-E are alternative compliance documents in NRECC-MECH-01-E, NRECC-MECH-02-E and NRECC-MECH-03-E for projects using any single zone packaged HVAC systems.

YES	NO	Form	Title
<input checked="" type="checkbox"/>	<input type="checkbox"/>	NRECC-MECH-04-E (1 of 2)	Certificate of Compliance. Required on plans when used.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	NRECC-MECH-04-E (2 of 2)	Mechanical Acceptance Tests. Required on plans when used.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	NRECC-MECH-05-E (1 of 2)	HVAC Prescription Requirements. It is required on plans when used.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	NRECC-MECH-05-E (2 of 2)	Mechanical SWH Equipment Summary is required for all submittals with service water heating, pools or spas. It is required on plans where applicable.

CA Building Energy Efficiency Standards - 2016 Nonresidential Compliance  
 January 2016

STATE OF CALIFORNIA  
**REQUIRED ACCEPTANCE TESTS**  
 (SEE TITLE) (REQUIRED) (REVISED 1/13)  
 CERTIFICATE OF COMPLIANCE  
 Required Acceptance Tests  
 Project Name: My Salon TT  
 Job Number: 4242017  
 CALIFORNIA ENERGY COMMISSION  
 NRECC-MECH-04-E  
 (Page 2 of 2)

**Designer:**  
 The compliance document to be used by the designer and attached to the plans. Listed below are all the acceptance tests for mechanical systems. The designer is required to check the applicable boxes by acceptance tests that apply and for equipment that requires an acceptance test. If all equipment of a certain type requires a test, list the equipment description and the number of systems. The NA number designates this Section in the Appendix of the Nonresidential Reference Appendices Manual that describes the test. Since this compliance document will be part of the plans, completion of this section will allow the responsible party to budget for the scope of work appropriately.

**Enforcement Agency:**  
 Before occupancy permit is granted for a newly constructed building or space, or a new space conditioning system requiring a building or space is operated for annual use, all control devices serving the building or space shall be certified as meeting the Acceptance Requirements for Code Compliance.

**System Acceptance:**  
 Before occupancy permit is granted, all newly installed HVAC equipment must be tested using the Acceptance Requirements.

**System Acceptance:**  
 The NRECC-MECH-04-E compliance document is not considered a completed document and is not to be accepted by the building department unless the correct boxes are checked. The equipment requiring testing, person performing the test (Example: HVAC installer, TAB contractor, controls contractor, PE in charge of project) and what Acceptance Test must be conducted. The following check-off forms are required for ALL newly installed and replaced equipment. In addition a Certificate of Acceptance documents shall be submitted to the building department that certifies plans, specifications, installation certificates, and operating and maintenance information meet the requirements of Section 10-103(a) and Title 24 Part 6. The building inspector must review the properly filled out and signed compliance documents before the building can receive final occupancy.

Test Description	NRECC-MECH-01-E	NRECC-MECH-02-E	NRECC-MECH-03-E	NRECC-MECH-04-E	NRECC-MECH-05-E	NRECC-MECH-06-E	NRECC-MECH-07-E	NRECC-MECH-08-E	NRECC-MECH-09-E	NRECC-MECH-10-E	NA	Test Indicated by:	
Equipment Requiring Testing or Verification	# of Units	Outdoor Air	Single Zone Systems	All Distribution Units	Commercial Equipment	Demand Control Ventilation (DCV)	Supply Air Flow	Automatic Demand Control	Energy Star	IEER for Packaged Air Units	Distributed Energy Storage (DES) Systems	Energy Management Controls	
ERV-1	1	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
ERV-2	1	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
ERV-3	1	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
CU-1 & FCU	1	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		

CA Building Energy Efficiency Standards - 2016 Nonresidential Compliance  
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STATE OF CALIFORNIA  
**REQUIRED ACCEPTANCE TESTS**  
 (SEE TITLE) (REQUIRED) (REVISED 1/13)  
 CERTIFICATE OF COMPLIANCE  
 Required Acceptance Tests  
 Project Name: My Salon TT  
 Job Number: 4242017  
 CALIFORNIA ENERGY COMMISSION  
 NRECC-MECH-04-E  
 (Page 2 of 2)

**DOCUMENTATION AUTHOR'S DECLARATION STATEMENT**  
 I, \_\_\_\_\_, certify that this Certificate of Compliance documentation is accurate and complete.  
 Declaration Author Signature: David Hensel, PE  
 Title: TBA24a.com  
 Address: P.O. Box 1442  
 City/State/Zip: San Marcos, CA 92079  
 Phone: (919) 665-3259  
 Signature Date: 4/24/2017  
 CA/NEE Certification Identification # (optional): M32001

**RESPONSIBLE PERSON'S DECLARATION STATEMENT**  
 I, \_\_\_\_\_, certify the following under penalty of perjury, under the laws of the State of California:  
 1. The information provided on this Certificate of Compliance is true and correct.  
 2. I am eligible under Division 1 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance.  
 3. The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance adhere to the requirements of Title 24, Part 6 of the California Code of Regulations.  
 4. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.  
 5. I will ensure that a completed signed copy of this Certificate of Compliance shall be made available with the building permit issued for the building and made available to the enforcement agency for all applicable inspections. I understand that a completed signed copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building department at occupancy.

Responsible Person Signature: Dustin Curtis  
 Title: Owner  
 Address: 8821 N Central Ave., Suite 101  
 City/State/Zip: Phoenix, AZ 85020  
 Phone: 602-286-2712

CA Building Energy Efficiency Standards - 2016 Nonresidential Compliance  
 January 2016

STATE OF CALIFORNIA  
**WATER HEATING SYSTEM GENERAL INFORMATION**  
 (SEE TITLE) (REQUIRED) (REVISED 1/13)  
 CERTIFICATE OF COMPLIANCE  
 Water Heating System General Information  
 Project Name: My Salon TT  
 Job Number: 4242017  
 CALIFORNIA ENERGY COMMISSION  
 NRECC-FWB-01-E  
 (Page 1 of 3)

**A. GENERAL INFORMATION/SYSTEM INFORMATION**

01	Water Heating System Name:	WHS-1
02	Water Heating System Configuration:	Non-Central
03	Water Heating System Type:	
04	Building Type:	
05	Total Number of Water Heaters in Systems:	2
06	Central DHW Distribution Type:	n/a
07	Dwelling Unit DHW Distribution Type:	Standard

**B. WATER HEATER INFORMATION**  
 Each water heater type requires a separate compliance document.

01	Water Heater Type:	Small Instantaneous Gas
02	Fuel Type:	Gas Fired
03	Manufacturer Name:	WFI
04	Model Number:	
05	Number of Identical Water Heaters:	2
06	Installed Water Heater System Efficiency:	0.83
07	Required Minimum Efficiency:	0.83
08	Standby Loss Percent or Standby Loss Total:	0.00%
09	Rated Input:	199,100
10	Input Energy:	
11	Water Heater Tank Storage Volume:	0
12	Exterior Insulation on Water Heaters:	0
13	Volume of Supplemental Storage:	0
14	Internal Insulation on Supplemental Storage:	
15	Exterior Insulation on Supplemental Storage:	

**C. PLUMBING COMPLIANCE FORMS & WORKSHEETS**  
 Check box if worksheet is included.  
 For detailed instructions on the use of this and all Energy Standards compliance documents, refer to the 2016 Nonresidential Manual.  
 Note: The Enforcement Agency may require all compliance documents to be incorporated into the building plans.

YES	NO	Doc/Worksheet #	Title
<input checked="" type="checkbox"/>	<input type="checkbox"/>	NRECC-FWB-01-E	Certificate of Compliance, Declaration. Required on plans for all submittals.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	NRECC-FWB-01-E	Certificate of Installation. Required on plans for all submittals.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	NRECC-FWB-02-E	Certificate of Installation, required on central systems in high-rise residential, hotels/motel application.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	NRECC-FWB-03-E	Certificate of Installation, required on single dwelling unit systems in high-rise residential, hotels/motel application.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	NRECC-FWB-21-H	Certificate of Installation, required on HERS verified central systems in high-rise residential, hotels/motel application.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	NRECC-FWB-22-H	Certificate of Installation, required on HERS verified single dwelling unit systems in high-rise residential, hotels/motel application.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	NRECC-FWB-05-E	Certificate of Installation, required on any solar water heating.

CA Building Energy Efficiency Standards - 2016 Nonresidential Compliance  
 January 2016

STATE OF CALIFORNIA  
**WATER HEATING SYSTEM GENERAL INFORMATION**  
 (SEE TITLE) (REQUIRED) (REVISED 1/13)  
 CERTIFICATE OF COMPLIANCE  
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 1. The information provided on this Certificate of Compliance is true and correct.  
 2. I am eligible under Division 1 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible design).  
 3. The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 of the California Code of Regulations.  
 4. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.  
 5. I will ensure that a completed signed copy of this Certificate of Compliance shall be made available with the building permit issued for the building, and made available to the enforcement agency for all applicable inspections. I understand that a completed signed copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building department at occupancy.

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CA Building Energy Efficiency Standards - 2016 Nonresidential Compliance  
 January 2016



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Principal:  
 Dustin Curtis  
 dustin.curtis@onearchitecture.us  
 Project Manager:  
 Nathan Bisch  
 nathan.bisch@onearchitecture.us

**MY SALON**  
 Suite  
 NEWPORT BEACH, CA  
 Franchise Project Manager:  
 My Salon Suite  
 Suite Management  
 Franchising LLC  
 Vice President of Construction  
 Contact: Joe Emberson  
 jemberson@mysalonsuite.com  
 Phone: 717.930.3436

Revisions

**MY SALON**  
 MSS #5043  
 200 WEST COAST HWY  
 SUITE R201  
 NEWPORT BEACH, CA  
 92663  
 04.14.17  
**CA-369**

**T-4**  
 Title 24